

# 74 Bellevue Road Bellevue Hill

## DEVELOPMENT APPLICATION

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### LOCATION





Multi Dwelling

Certificate number: 1325796M\_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Thursday, 13 July 2023  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	74 Bellevue Rd. Bellevue Hill NSW 20_03	
Street address	74 Bellevue Road Bellevue Hill 2023	
Local Government Area	Woollahra Municipal Council	
Plan type and plan number	deposited 532849	
Lot no.	1	
Section no.	-	
No. of residential flat buildings	1	
No. of units in residential flat buildings	3	
No. of multi-dwelling houses	0	
No. of single dwelling houses	0	
Project score		
Water	✔ 42	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 35	Target 35

Certificate Prepared by

Name / Company Name: Sustain Build Projects

ABN (if applicable): 86970321762

Fixtures														Appliances				Individual pool				Individual spa			
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded											
1	4 star (> 6 but <= 7.5 L/min)	4 star	5 star	5 star	no	4 star	4 star	45.0	no	outdoors	no	-	-	-											
All other dwellings	4 star (> 6 but <= 7.5 L/min)	4 star	5 star	5 star	no	4 star	4 star	-	-	-	-	-	-	-											

Alternative water source									
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up	
1	individual water tank (no. 1)	Tank size (min) 4000.0 litres	To collect run-off from at least: 100.0 square metres of roof area; 9.0 square metres of impervious area; 9.0 square metres of garden and lawn area; and 9.0 square metres of planter box area	yes	no	yes	yes	no	

Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	electric heat pump - air sourced 26 to 30 STCs	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/ toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
1	1-phase airconditioning EER 3.0 - 3.5	1-phase airconditioning EER 3.0 - 3.5	1-phase airconditioning EER 3.0 - 3.5	1-phase airconditioning EER 3.0 - 3.5	3	2	yes	yes	yes	yes	0	yes
2	1-phase airconditioning EER 3.0 - 3.5	1-phase airconditioning EER 3.0 - 3.5	1-phase airconditioning EER 3.0 - 3.5	1-phase airconditioning EER 3.0 - 3.5	2	2	yes	yes	yes	yes	0	yes
All other dwellings	1-phase airconditioning EER 3.0 - 3.5	1-phase airconditioning EER 3.0 - 3.5	1-phase airconditioning EER 3.0 - 3.5	1-phase airconditioning EER 3.0 - 3.5	4	2	yes	yes	yes	yes	0	yes

	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
1	no heating	yes	-	-	gas cooktop & electric oven	3 star	no	4 star	-	2 star	-	-
All other dwellings	-	-	-	-	gas cooktop & electric oven	3 star	no	4 star	-	2 star	-	-


Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

Common area ventilation system			Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Car park area	ventilation (supply + exhaust)	carbon monoxide monitor + 2-speed fan	fluorescent	motion sensors	No
Lift car (No.1)	-	-	compact fluorescent	connected to lift call button	No
Garbage room	ventilation (supply + exhaust)	-	compact fluorescent	motion sensors	No
Plant or service room	ventilation (supply + exhaust)	thermostatically controlled	compact fluorescent	manual on / manual off	No
Lobby	ventilation supply only	time clock or BMS controlled	compact fluorescent	motion sensors	No

Central energy systems	Type	Specification
Lift (No. 1)	gearless traction with V V V F motor	Number of levels (including basement): 4

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

Central energy systems	Type	Specification
Alternative energy supply	Photovoltaic system	Rated electrical output (min): 4.1 peak kW

Project Specification		Form # AE0.5		Australian Energy Efficiency Consulting E:info@aenec.com.au P:0416 316 204		 www.aenec.com.au	
Project Address: 74 Bellevue Road Bellevue Hill		<div>This Project Specification outlines ONLY some of the NatHERs commitments. For the full list of specifications and construction allocations, you must refer to the corresponding NatHERs document that has been provided.</div>					
BASIX CERTIFICATION NUMBER: 1258675M_03							
External Walls Specification:							
Type	Material	Added Insulation	Colour**	Detail			
Masonry	Cavity Brick Bare	R1.6	Medium	As per drawings			
Masonry	Cavity Brick Renedered	R1.6	Medium, White	As per drawings			
Masonry	Concrete	R1.5	Medium	Ground Retaining			
Internal Walls specification:							
Type	Material	Added Insulation	Colour**	Detail			
Masonry	Concrete	R2.0	-	To carpark			
Masonry	Concrete	Nil	-	To common areas			
Framed	Plasterboard	Nil	-	Internal walls			
Roof Specification:							
Type	Material	Added Insulation	Colour**	Detail			
Masonry	Concrete	R4.0	Medium	As per drawings			
Masonry	Concrete	R5.0	Medium	As per drawings, Top Roof			
Floors/Ceilings Specification:							
Type	Material	Added Insulation	Covering	Detail			
Masonry	Concrete	Nil	As per drawings	Slab on ground			
Masonry	Concrete	R2.50	As per drawings	To carpark and outside air			
Window Specification*							
Frame material	Glazing	U Value	SHGC	Detail			
Aluminum		5.40 or Lower	0.58 +-5%	Refer to NatHERs for more info			
Aluminum		5.40 or Lower	0.49 +-5%	Refer to NatHERs for more info			
Aluminum		4.80 or Lower	0.34 +-5%	Refer to NatHERs for more info			
Aluminum		4.10 or Lower	0.52 +-5%	Refer to NatHERs for more info			
Aluminum		4.10 or Lower	0.47 +-5%	Refer to NatHERs for more info			
Ceiling Fans							
2400mm: Unit 3 KLD (2)							
* NOTE: WINDOW PERFORMANCE IS DETERMINED BY U-VALUE AND SHGC NOT THE SYSTEM DESCRIPTION. THESE PERFORMANCE FIGURES CAN BE ACHIEVED BY MULTIPLE WINDOW/DOOR SYSTEMS AND THEIR DESCRIPTION IN THE NATHERS IS SECONDARY. FOCUS OF THE PERFORMANCE VALUES.							
** LIGHT COLOR INSTALLATIONS HAVE SOLAR ABSORBTANCE BEING LOWER THAN 0.475. MEDIUM COLOR INSTALLATIONS HAVE SOLAR ABSORBTANCE BEING BETWEEN 0.476 AND 0.700. DARK COLOR INSTALLATIONS HAVE SOLAR ABSORBTANCE BEING HIGHER THAN 0.701.							
IT IS ILLEGAL TO COPY/PASTE NATHERS STAMPS FROM STAMPED DRAWINGS TO ANOTHER DRAWING SET, EVEN IF THIS IS FOR THE SAME PROJECT. NATHERS CERTIFICATES ARE ISSUED FOR THE SPECIFIC DRAWING VERSION AND DATE OF ISSUE AND ARE VALID ONLY FOR THIS PARTICULAR VERSION. IF YOU UPDATE DRAWINGS, YOU MUST UPDATE THE NATHERS CERTIFICATE AS WELL.							

CAUTION – ALL OF THE ITEMS BELOW MUST BE ADHERED BY FOR NATHERS TO BE VALID

NOTES:

- ALL DOWNLIGHTS TO BE:
  - APPROVED NON-VENTILATED
  - WITH FIRE-RATED COVER/SHIELD TO ALLOW CONTINUOUS INSULATION LED TYPE. IF HALOGEN LIGHT ARE TO BE INSTALLED THIS CERTIFICATION IS NOT VALID
- ALL VENTS AND WALL OPENINGS INSTALLED TO BE "THE SEALED" TYPE
- ALL INSULATION IS TO BE INSTALLED IN ACCORDANCE NCC PART 3.12.1.1
  - CREATION OF CONTINUOUS THERMAL BARRIER
  - COMPLIANCE WITH AS4859
  - MAINTAINING THICKNESS OF BULK INSULATION AND AIR GAPS FOR REFLECTIVE INSULATION
- BUILDING SEALING AS PER NCC PART 3.12.3
  - WEATHER SEALS AND DRAFT EXCLUDERS
  - DRAFT STOPPER CAPS
- SERVICES AS RER NCC PART 3.12.5
  - INSULATION OF SERVICES, PIPING AND DUCTWORK

REFER TO CORRESPONDING NATHERS CERTIFICATE(S) FOR CORRECT WINDOW SPECIFICATIONS / ALLOCATIONS (SEE AE.05 FORM FOR DETAIL)

Nationwide House Energy Rating Scheme — Class 2 Summary  
NatHERS Certificate No. #HR-4VY973-02

Generated on 13 Jul 2023 using Hero 3.0.1

Property

Address 74 Bellevue Road, Bellevue Hill, NSW, 2023

Lot/DP

NatHERS climate zone 56 - Mascot AMO

Accredited assessor



Ioannis Fragkoulidis

AENEC-Trading as Wide Spectrum Pty Ltd

yanni.aenec@gmail.com

+61 452648288

Accreditation No. 10002

Assessor Accrediting Organisation HERA



Verification

To verify this certificate, scan the QR code or visit <http://www.hero-software.com.au/pdf/HR-4VY973-02>.  
When using either link, ensure you are visiting <http://www.hero-software.com.au>

Summary of all dwellings

Certificate number and link	Unit Number	Heating load (MJ/m²)	Cooling load (MJ/m²)	Total load (MJ/m²)	Star rating
<a href="#">HR-R79Y09-02</a>	Unit 01	35.8	22.6	58.4	5.4
<a href="#">HR-NZLHV8-02</a>	Unit 02	38.1	15.2	53.3	5.8
<a href="#">HR-CNDKDR-02</a>	Unit 03	41.6	29.0	70.6	4.7
Average	3x (Total)	38.5	22.3	60.8	5.3

National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at [www.abcb.gov.au](http://www.abcb.gov.au).

State and territory variations and additions to the NCC may also apply

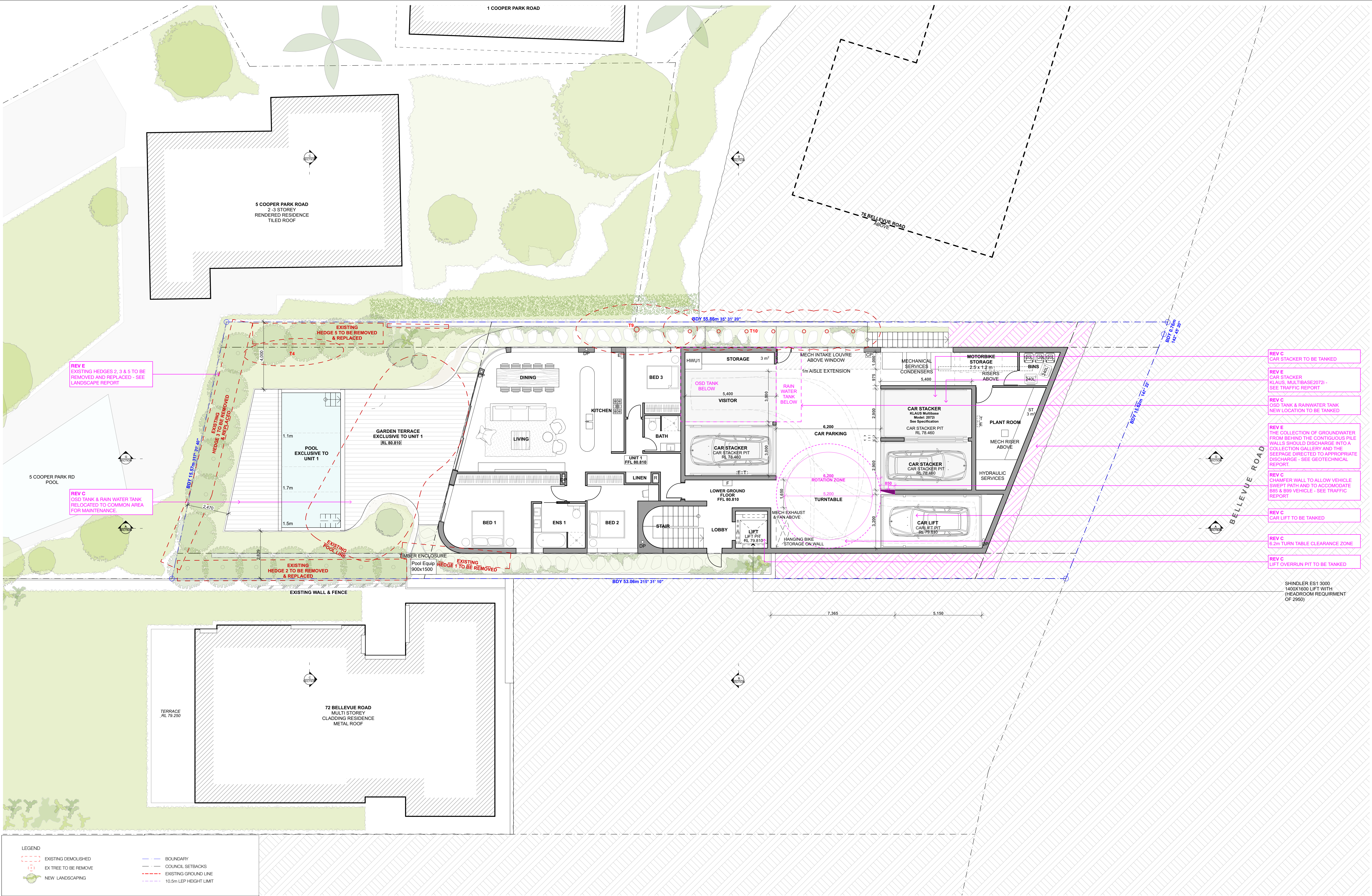
NOTE: CEILING FANS HAVE BEEN NOMINATED WHEN PERFORMED THE NATHERS CALCULATIONS AND EACH CERTIFICATION HAS BEEN ISSUED ACCORDINGLY. ENSURE THAT THE INSTALLATIONS ARE CARRIED OUT.





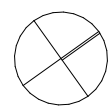






REVISION:		DEVELOPMENT APPLICATION UPDATED DA DRAWING AMENDMENTS IN RESPONSE TO SOFAC UPDATED BASIX S34 AMENDMENTS
A	26/07/2022	
B	05/09/2022	
C	01/05/2023	
D	14/07/2023	
E	28/07/2023	

35 RICHARDS LANE  
SUNNY HILLS  
SYDNEY NSW 2010  
+61 2 9101 1111  
WWW.MHNDU.COM  
NOMINATED ARCHITECT BRIAN MEYERSON 4907



PROJECT:  
74 BELLEVUE ROAD  
DRAWING TITLE:  
LOWER GROUND FLOOR

PROJECT ADDRESS:  
74 BELLEVUE RD, BELLEVUE HILL NSW 2023

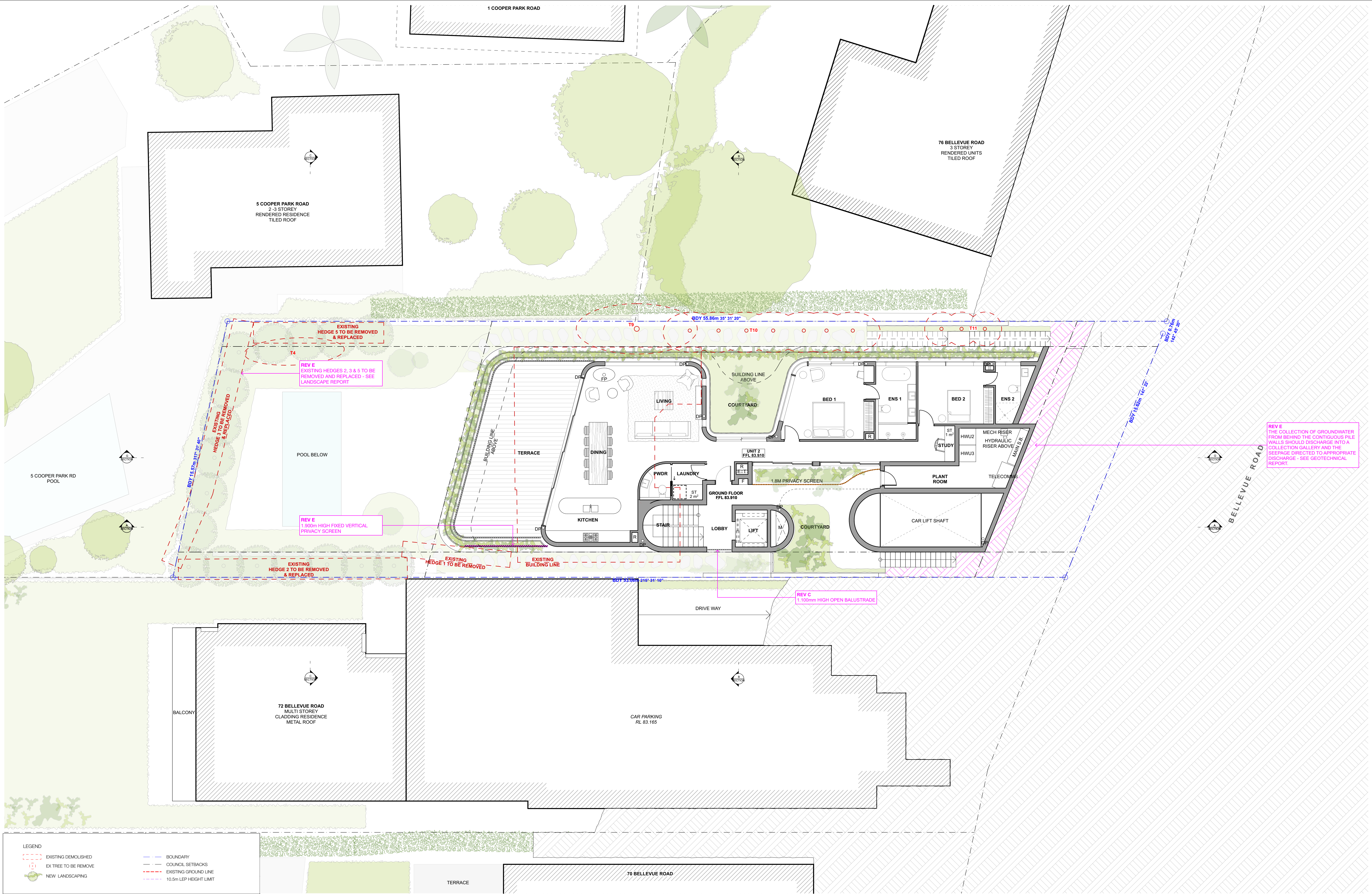
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28/7/23  
PROJECT NUMBER:  
20-087

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DRAWING NUMBER:  
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LEGEND

EXISTING DEMOLISHED

EX TREE TO BE REMOVE

NEW LANDSCAPING

BOUNDARY

COUNCIL SETBACKS

EXISTING GROUND LINE

10.5m LEP HEIGHT LIMIT

REVISION:

A

26/07/2022

DEVELOPMENT APPLICATION

B

05/09/2022

UPDATED DA DRAWING

C

01/05/2023

AMENDMENTS IN RESPONSE TO SOFAC

D

14/07/2023

UPDATED BASIX

E

28/07/2023

S34 AMENDMENTS

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NOMINATED ARCHITECT BRIAN MEYERSON 4907

5.3

star rating

Assessor

Address

Address

Address

Assessor

Address

Address

Address

PROJECT

74 BELLEVUE ROAD

DRAWING TITLE:

GROUND FLOOR

PROJECT ADDRESS:

74 BELLEVUE RD, BELLEVUE HILL NSW 2023

DATE:

28/7/23

PROJECT NUMBER:

20-087

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DRAWING NUMBER:

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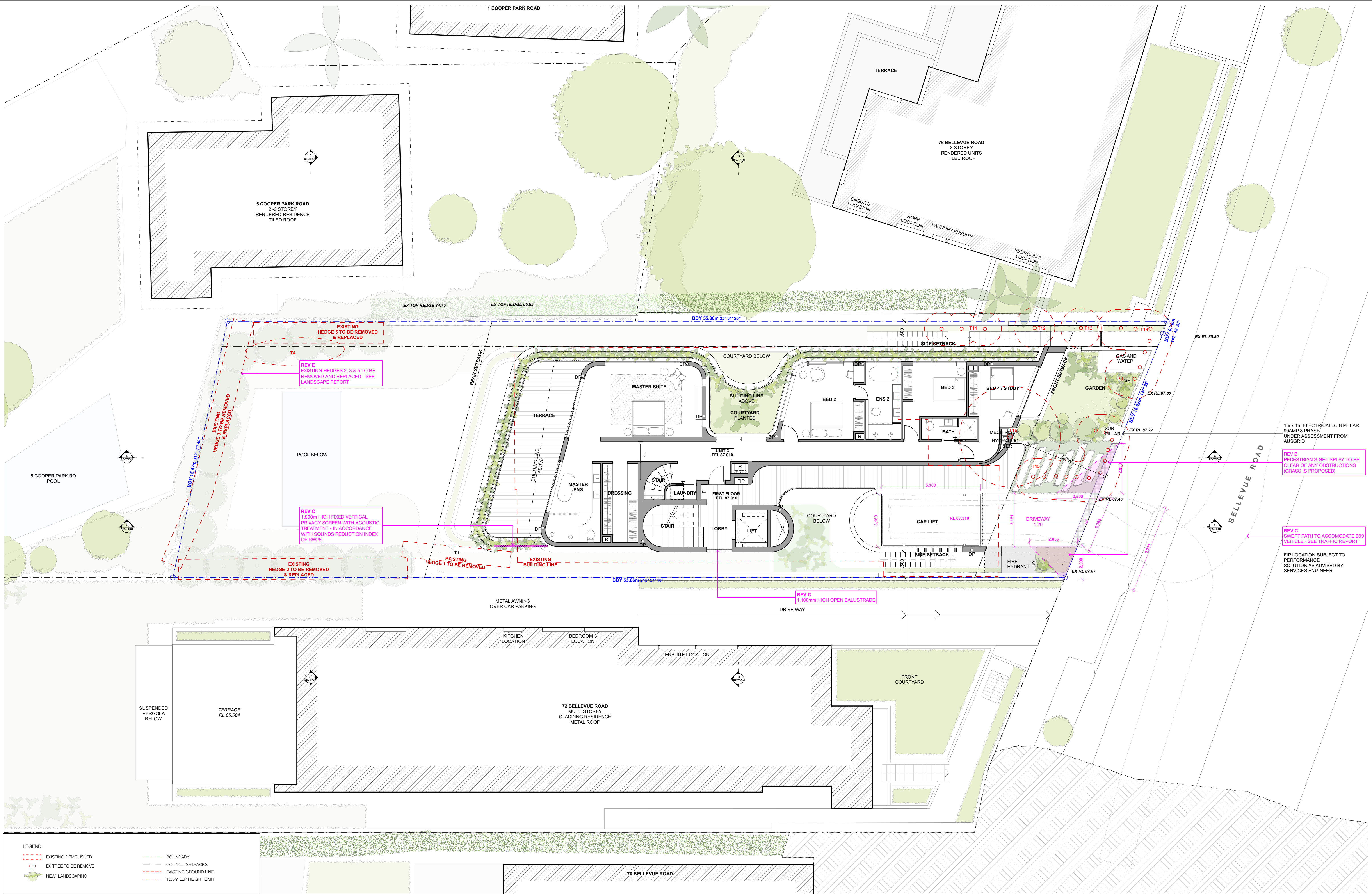
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LEGEND

EXISTING DEMOLISHED

EX TREE TO BE REMOVE

NEW LANDSCAPING

BOUNDARY

COUNCIL SETBACKS

EXISTING GROUND LINE

10.5m LEP HEIGHT LIMIT

REVISION:

A	26/07/2022	DEVELOPMENT APPLICATION
B	05/09/2022	UPDATED DA DRAWING
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D	14/07/2023	UPDATED BASIX
E	28/07/2023	S34 AMENDMENTS

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NOMINATED ARCHITECT BRIAN MEYERSON 4907

5.3

star rating

Address

74 Bellevue Road, Bellevue Hill, NSW 1585

Assessor

Jessica Freydisdottir

Accreditation No.

19954/10003

Address

74 Bellevue Road, Bellevue Hill, NSW 1585

Assessor

Jessica Freydisdottir

Accreditation No.

19954/10003

Project

74 Bellevue Road, Bellevue Hill NSW 2023

Project Title

FIRST FLOOR

PROJECT ADDRESS:

74 BELLEVUE RD, BELLEVUE HILL NSW 2023

DATE:

28/7/23

PROJECT NUMBER:

20-087

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DRAWING NUMBER:

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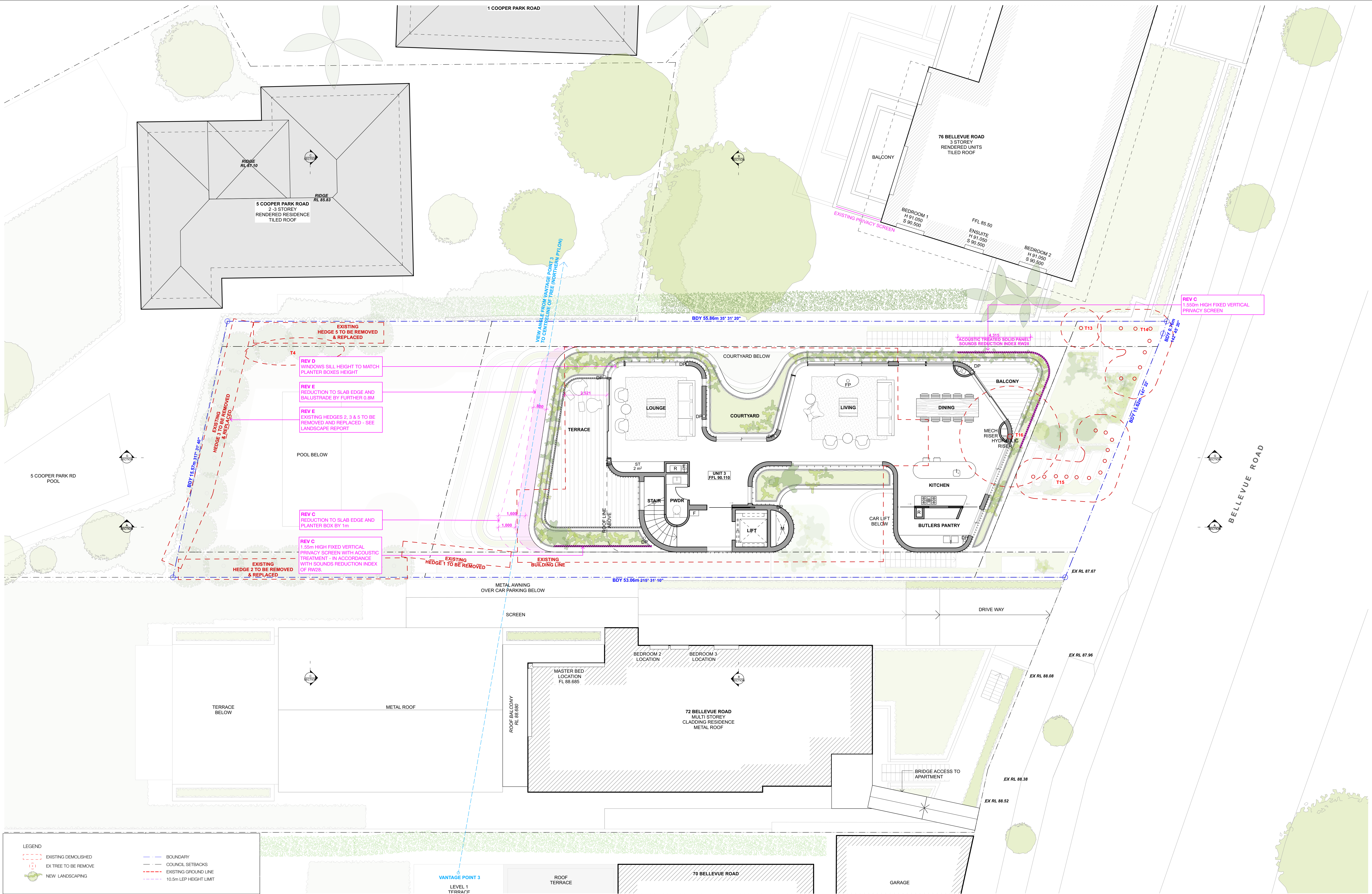
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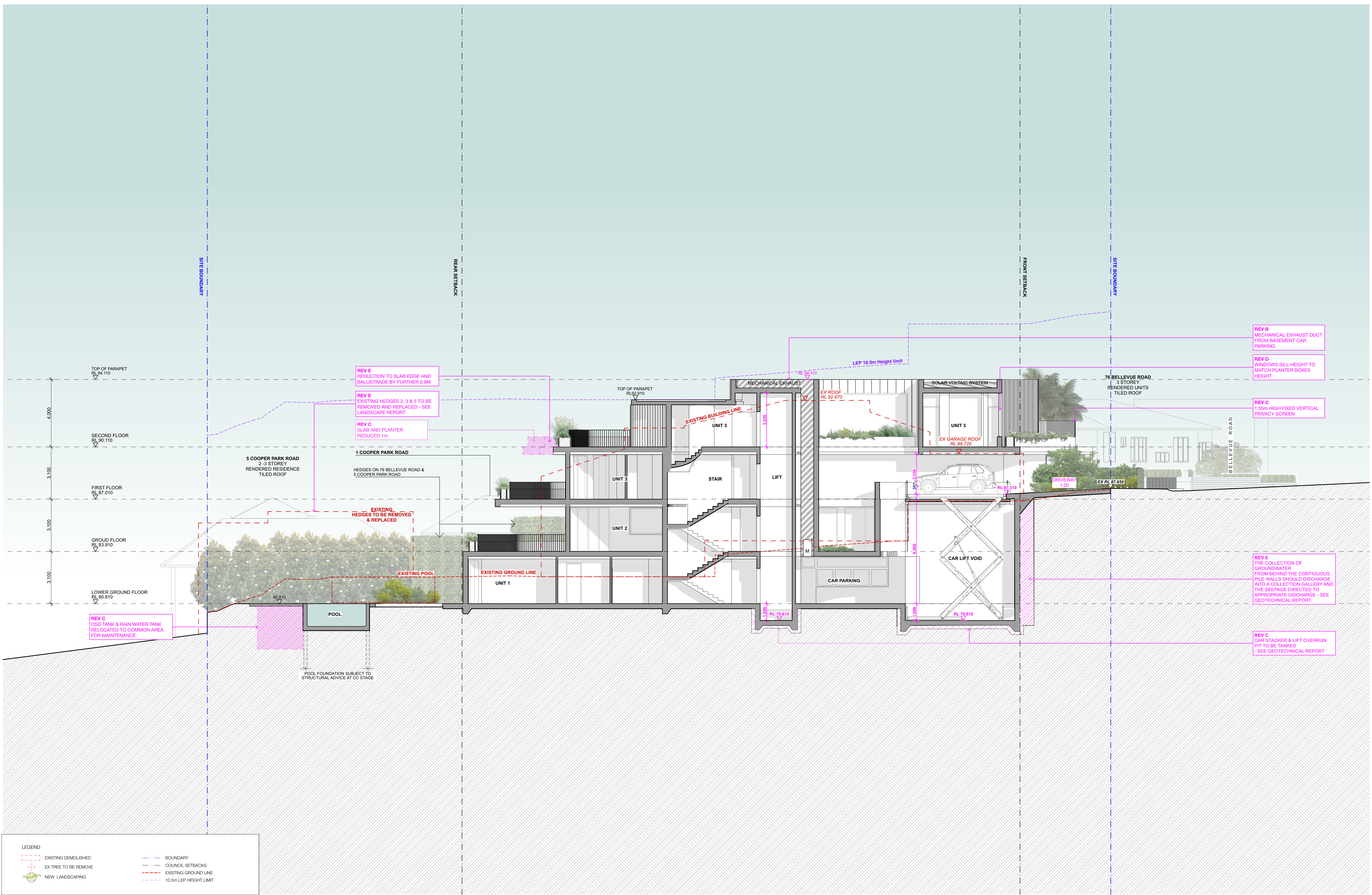




LEGEND

- EXISTING DEMOLISHED
- EX TREE TO BE REMOVE
- NEW LANDSCAPING
- BOUNDARY
- COUNCIL SETBACKS
- EXISTING GROUND LINE
- 10.5m LEP HEIGHT LIMIT





REVISION:		
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D	14/07/2023	UPDATED BASIS
E	28/07/2023	S34 AMENDMENTS

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PROJECT:  
74 BELLEVUE ROAD  
DRAWING TITLE:  
SECTION A

PROJECT ADDRESS:  
74 BELLEVUE RD, BELLEVUE HILL NSW 2023

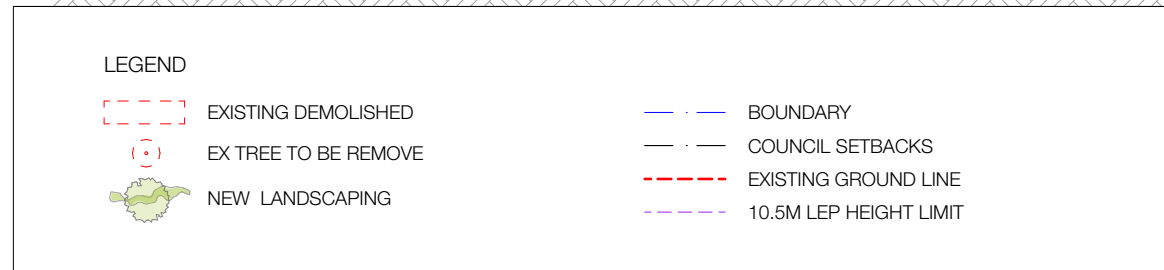
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REVISION:  
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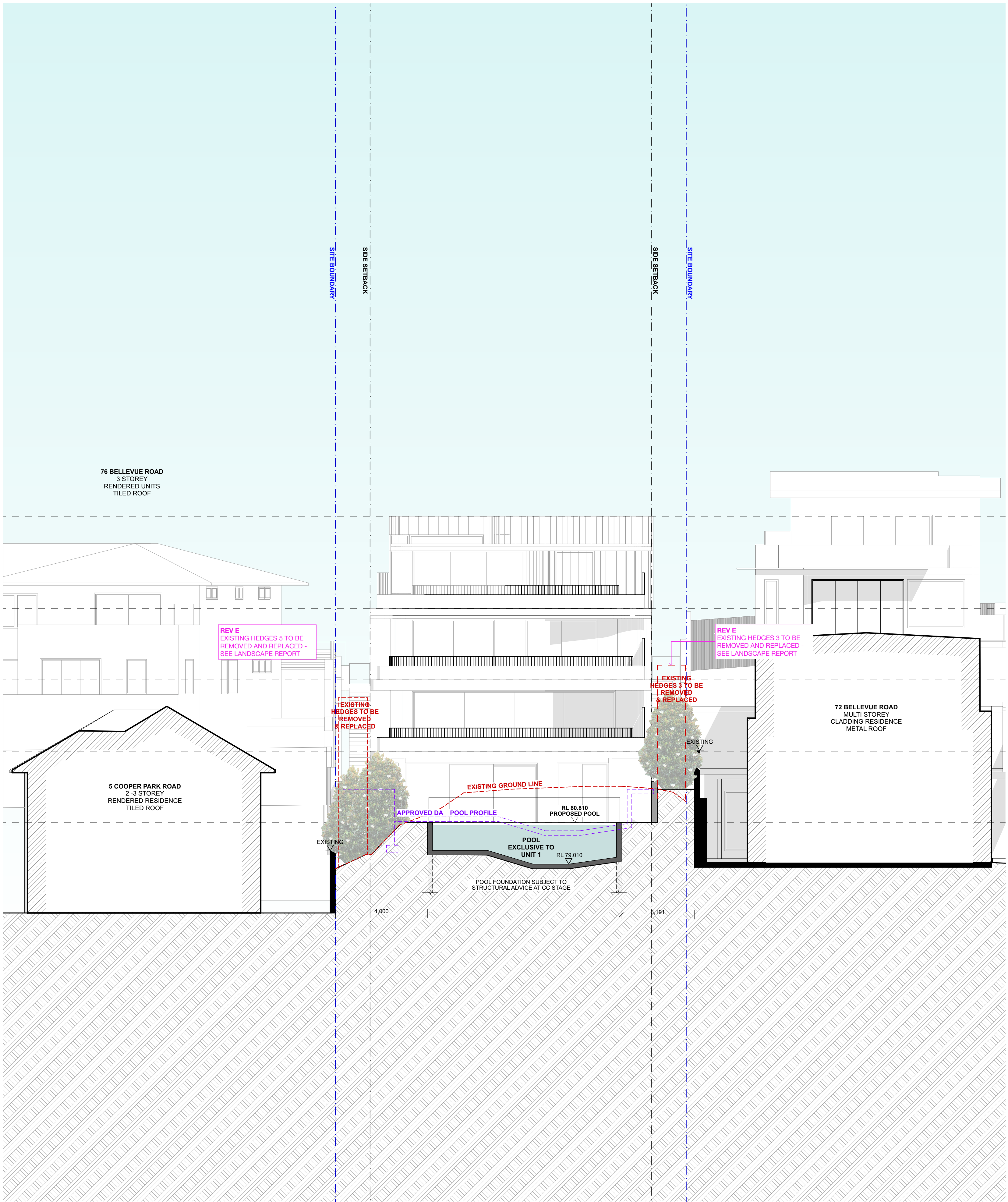
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LEGEND			
	EXISTING DEMOLISHED		BOUNDARY
	EX TREE TO BE REMOVE		COUNCIL SETBACKS
	NEW LANDSCAPING		EXISTING GROUND LINE
			10.5M LEP HEIGHT LIMIT

REVISION:		35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 +61 2 9101 1111 WWW.MHNDU.COM	
A	26/07/2022	DEVELOPMENT APPLICATION	
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C	01/05/2023	AMENDMENTS IN RESPONSE TO SOFAC	
D	14/07/2023	UPDATED BASIX	
E	28/07/2023	S34 AMENDMENTS	NOMINATED ARCHITECT BRIAN MEYERSON 4907



PROJECT:	74 BELLEVUE ROAD	PROJECT ADDRESS:	74 BELLEVUE RD, BELLEVUE HILL NSW 2023
DRAWING TITLE:	SECTION C		

DATE:	28/7/23	SCALE:	1:100@A1
PROJECT NUMBER:	20-087	DRAWING NUMBER:	DA 10
		REVISION:	E

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PROJECT:  
74 BELLEVUE ROAD  
DRAWING TITLE:  
ELEVATION NORTH

PROJECT ADDRESS:  
74 BELLEVUE RD, BELLEVUE HILL NSW 2023

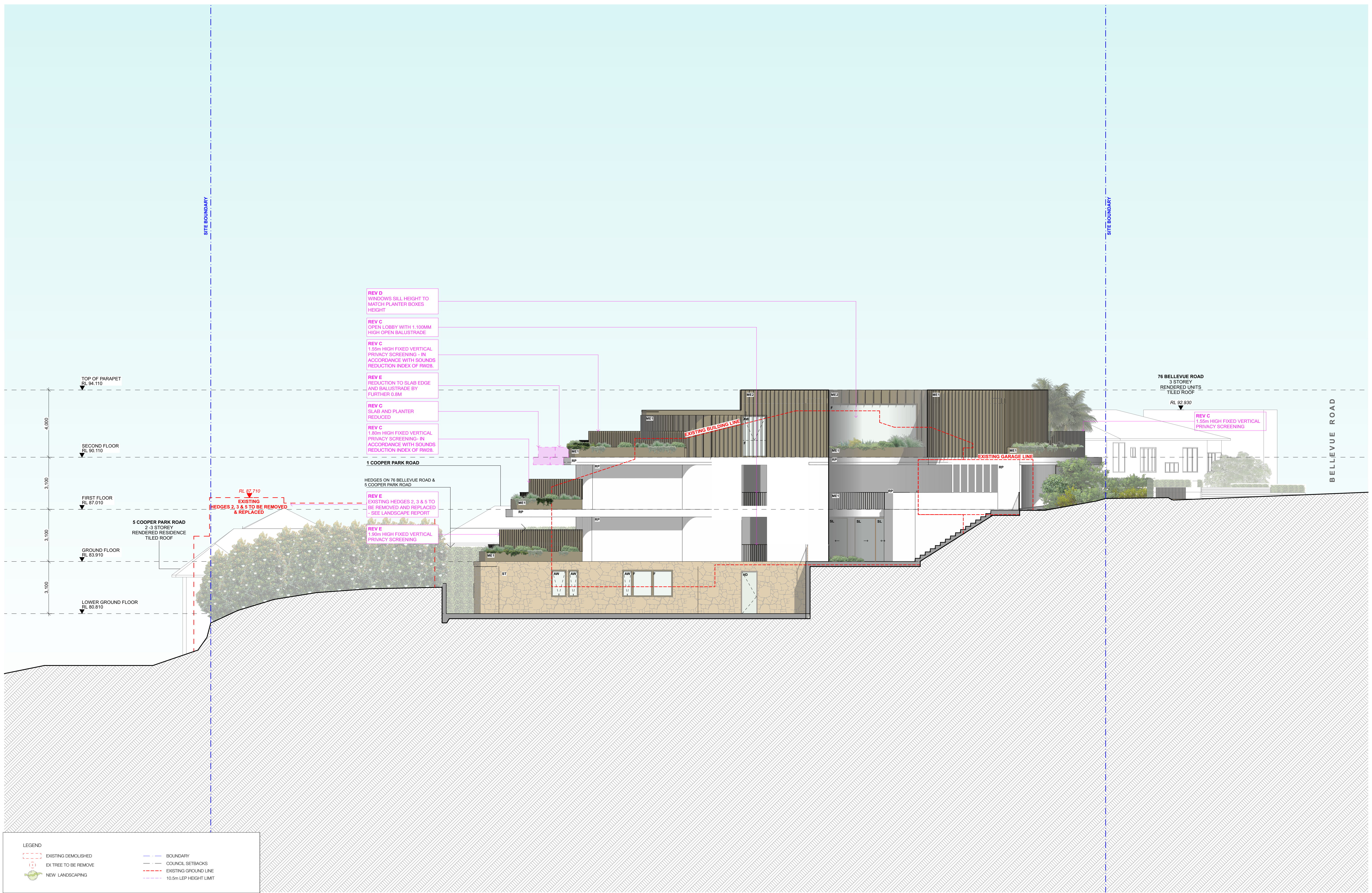
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PROJECT:  
74 BELLEVUE ROAD  
DRAWING TITLE:  
ELEVATION SOUTH

PROJECT ADDRESS:  
74 BELLEVUE RD, BELLEVUE HILL NSW 2023

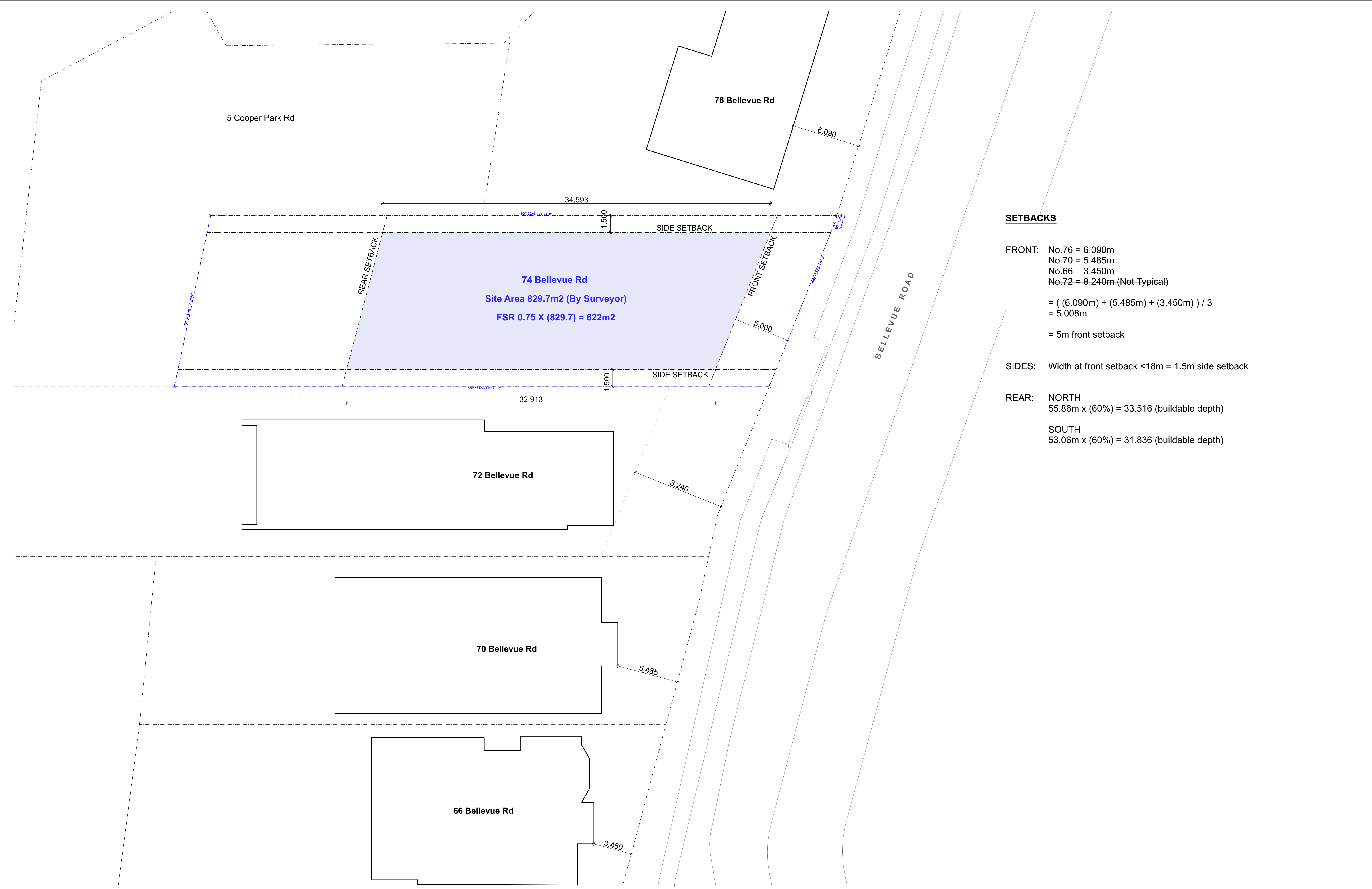
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DRAWING NUMBER:  
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**SETBACKS**

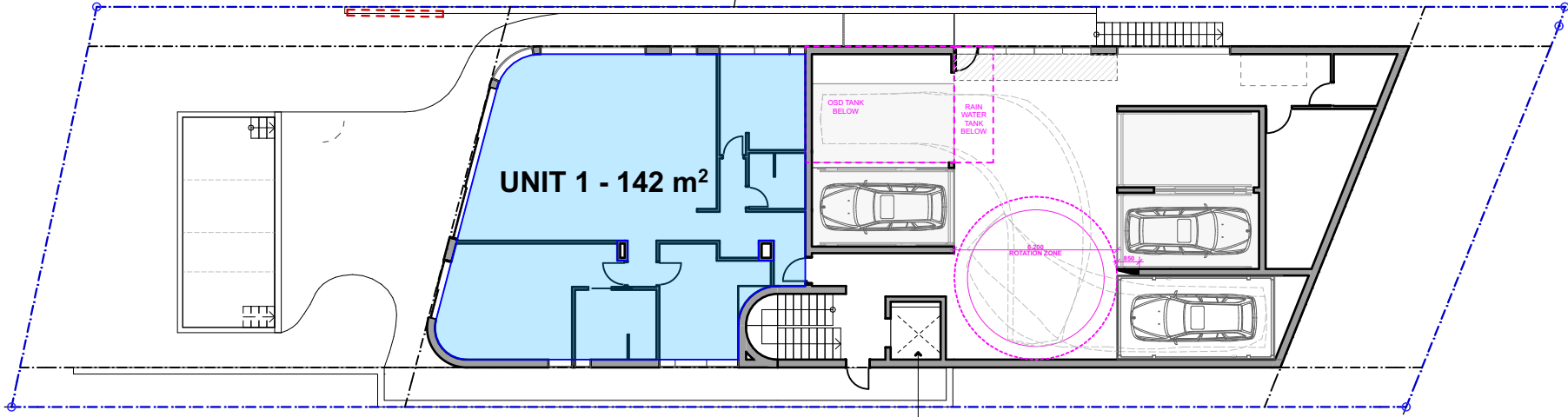
FRONT: No.76 = 6.090m  
No.70 = 5.485m  
No.66 = 3.450m  
~~No.72 = 8.240m (Not Typical)~~  
  
= ( (6.090m) + (5.485m) + (3.450m) ) / 3  
= 5.008m  
  
= 5m front setback

SIDES: Width at front setback <18m = 1.5m side setback

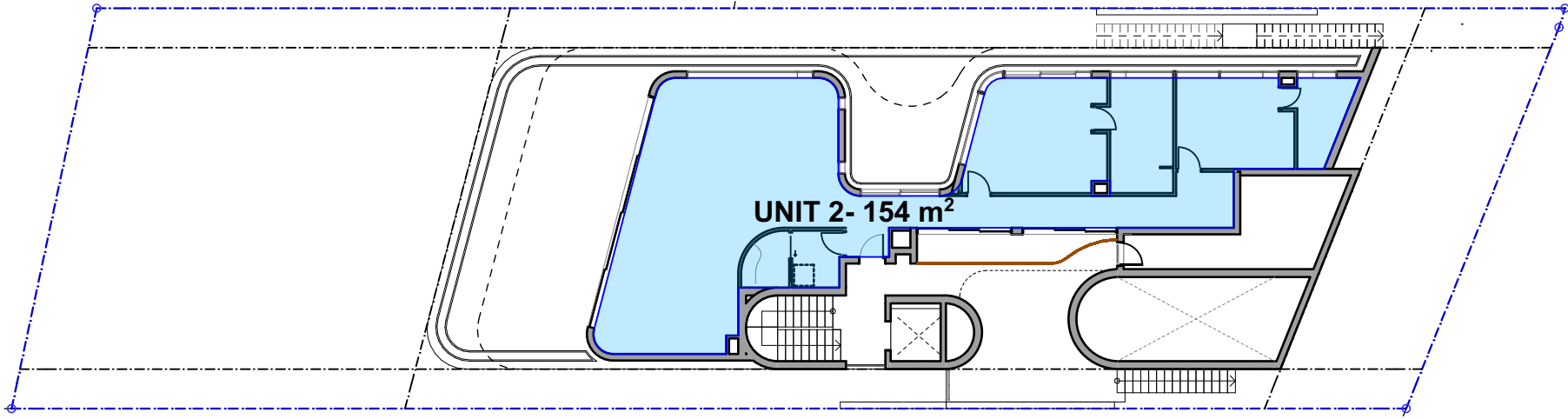
REAR: NORTH  
55.86m x (60%) = 33.516 (buildable depth)  
  
SOUTH  
53.06m x (60%) = 31.836 (buildable depth)



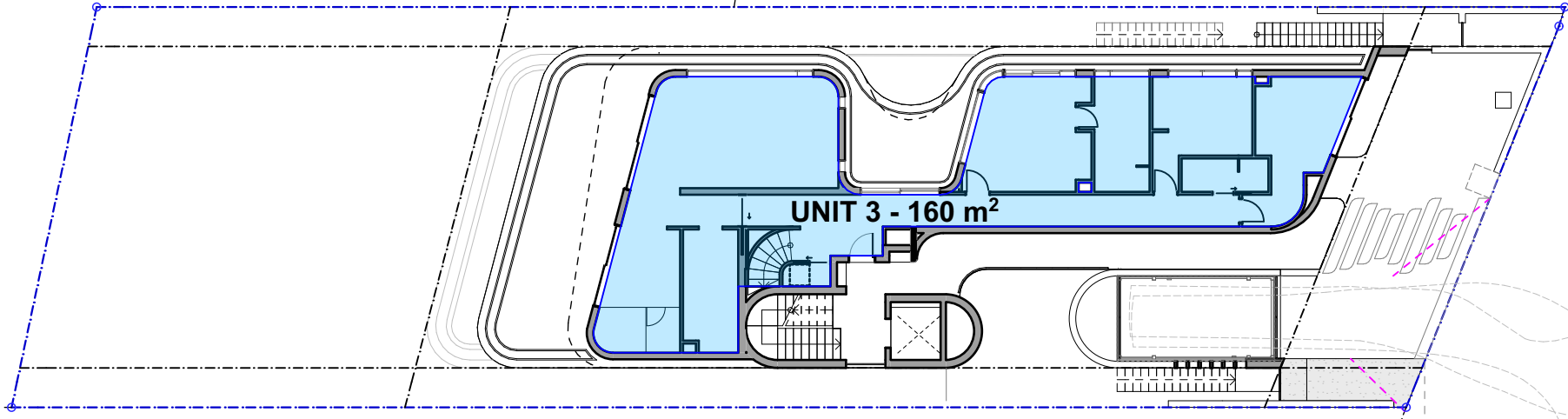
GFA CALCULATION



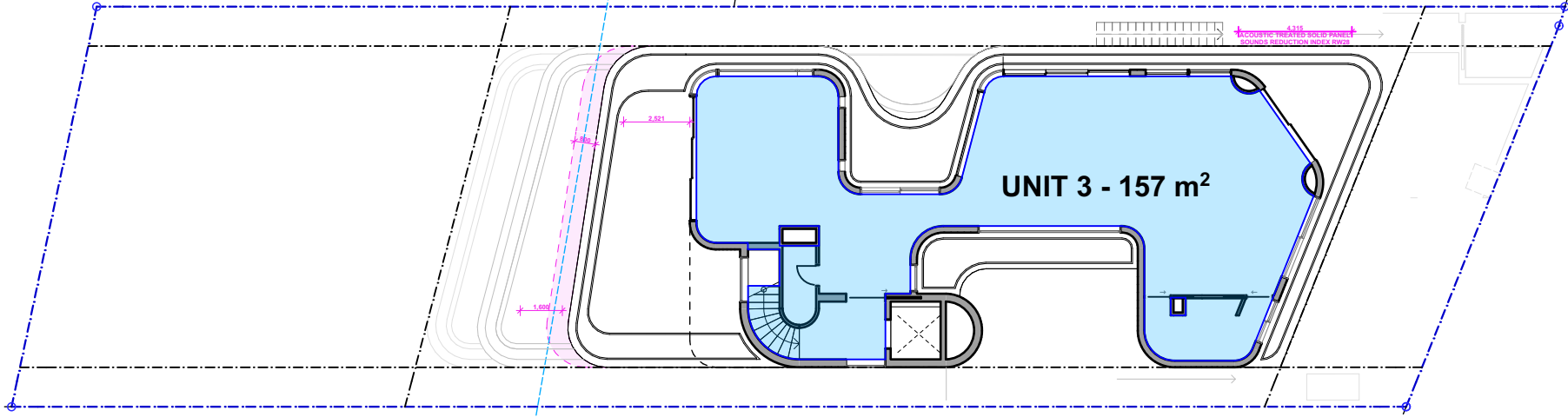
LOWER GROUND FLOOR PLAN



GROUND FLOOR PLAN

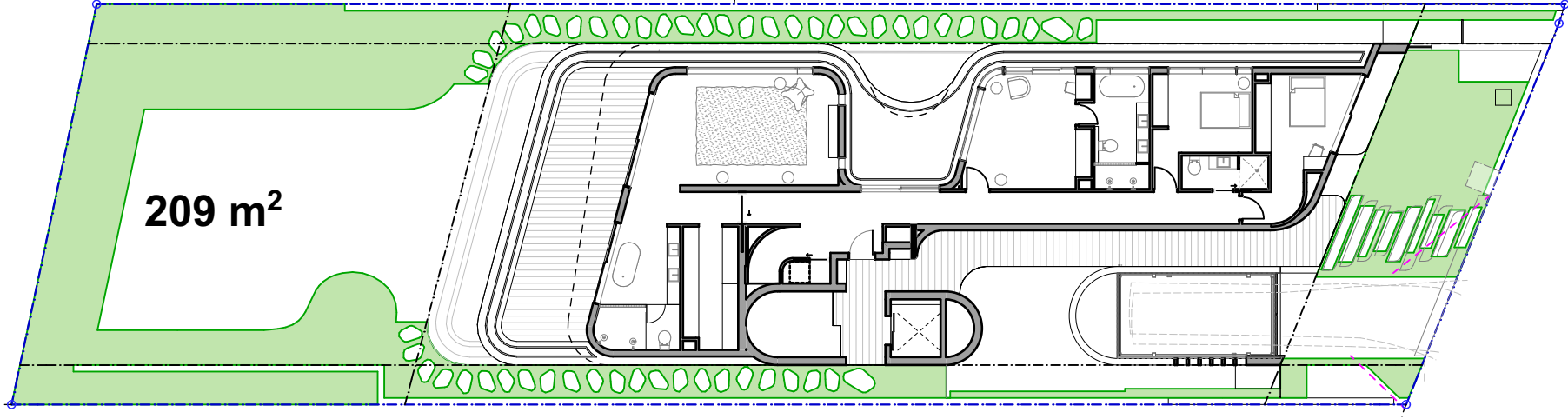


FIRST FLOOR PLAN

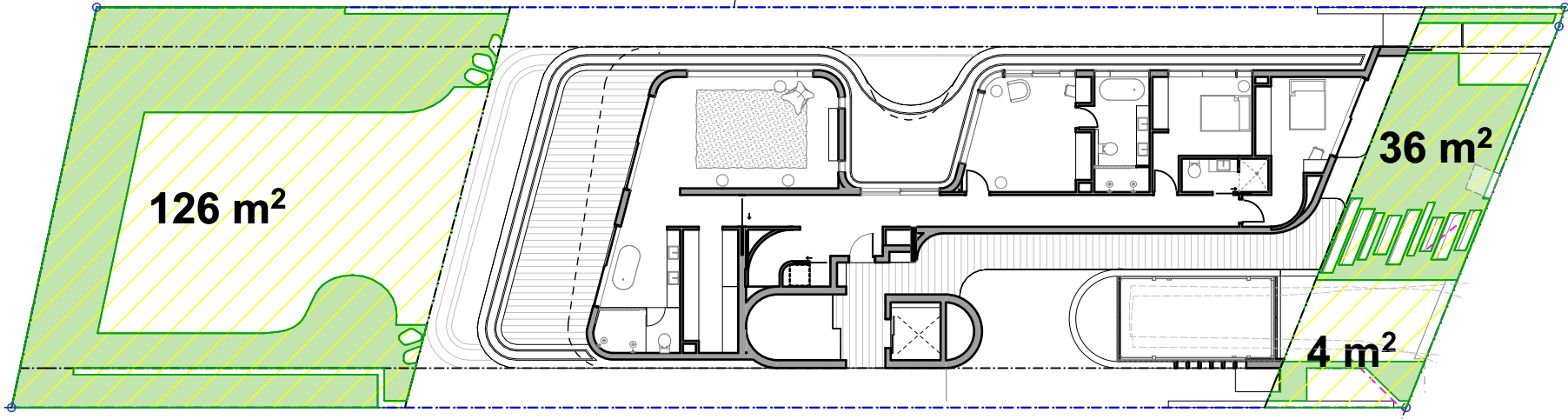


SECOND FLOOR PLAN

DEEP SOIL CALCULATION

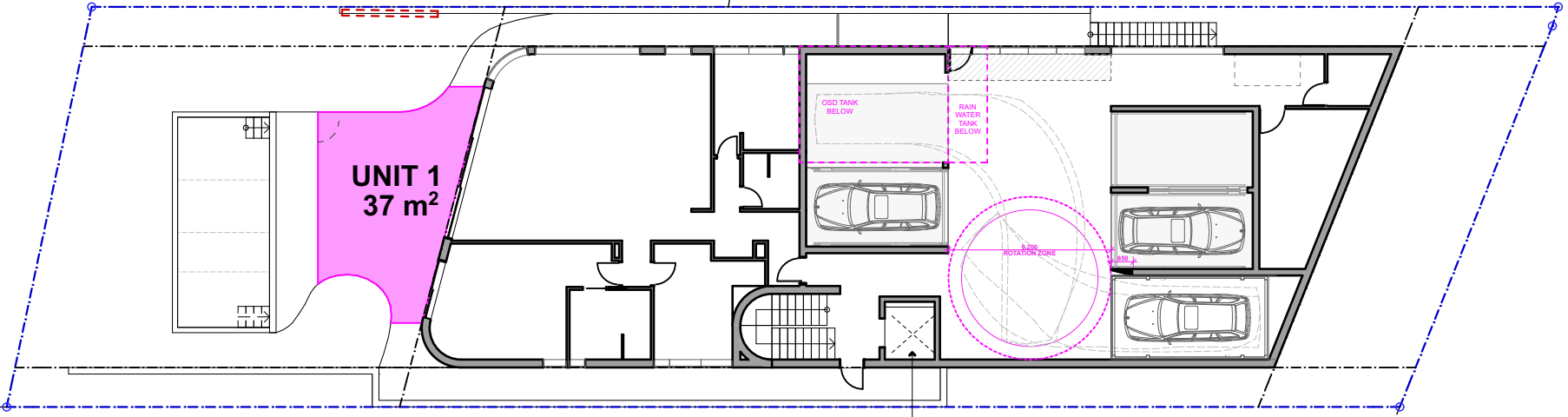


DEEP SOIL - OUT OF BUILDABLE AREA  
GROUND FLOOR PLAN

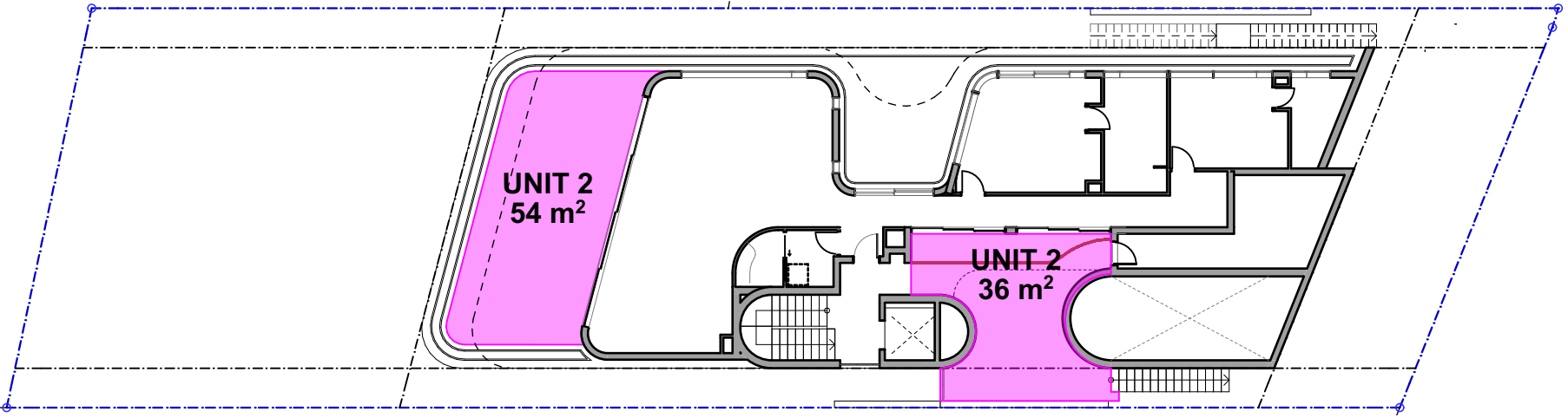


GROUND FLOOR PLAN

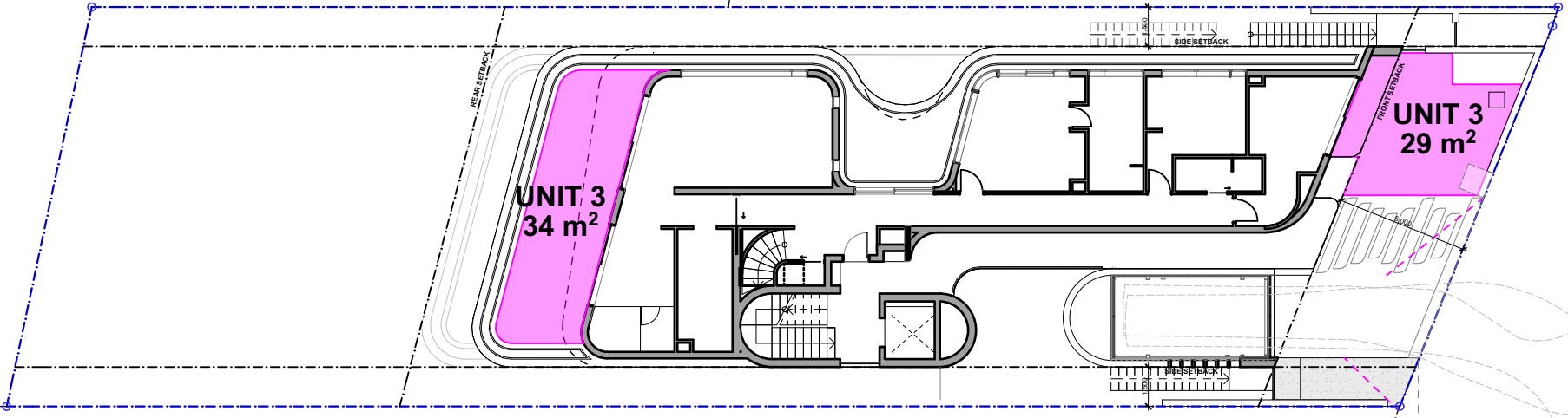
PRIVATE OPEN SPACE



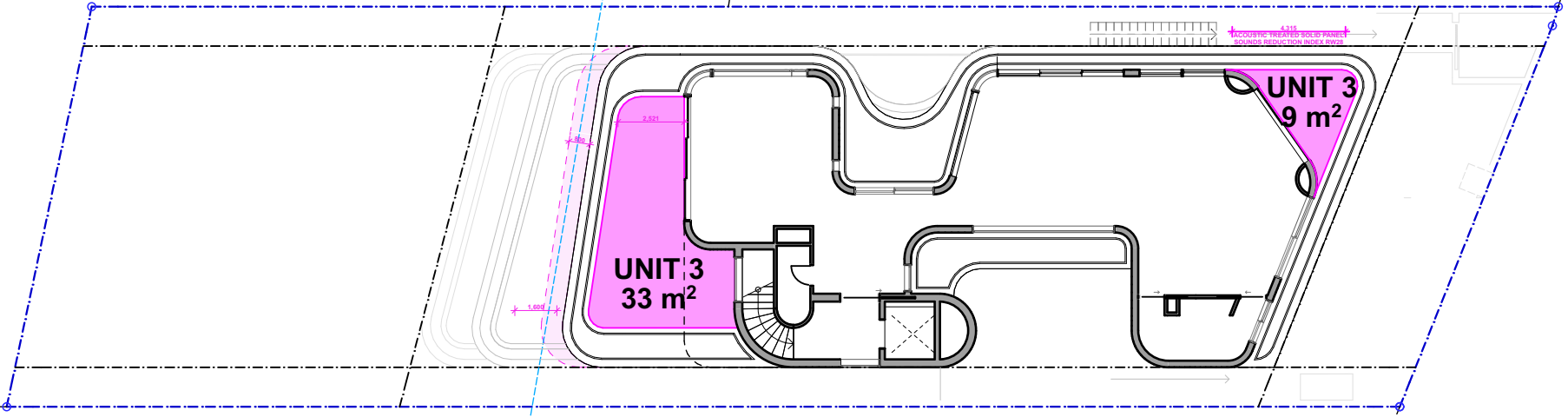
LOWER GROUND FLOOR PLAN



GROUND FLOOR PLAN

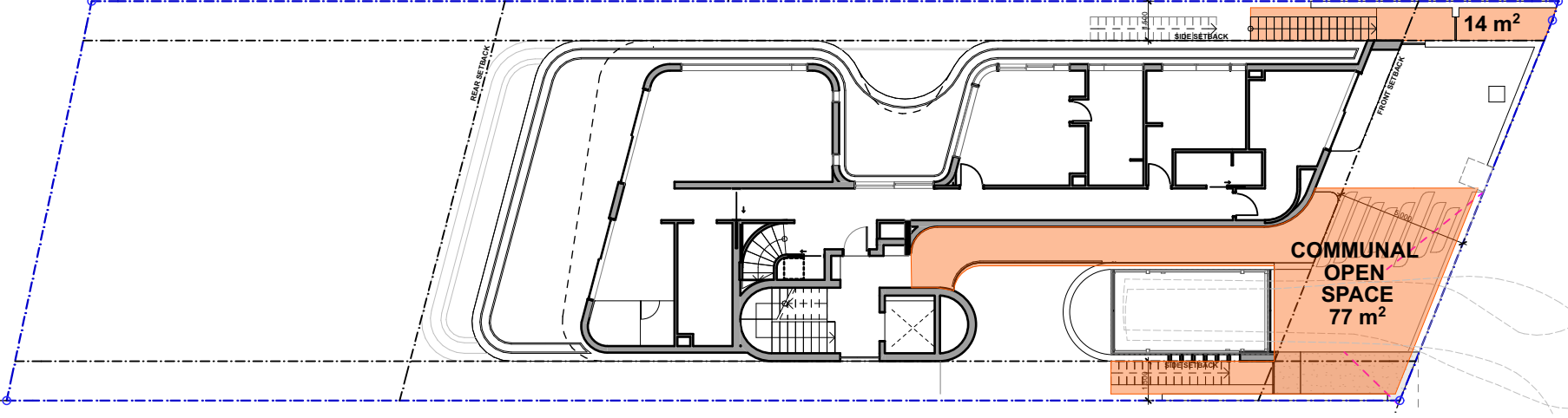


FIRST FLOOR PLAN

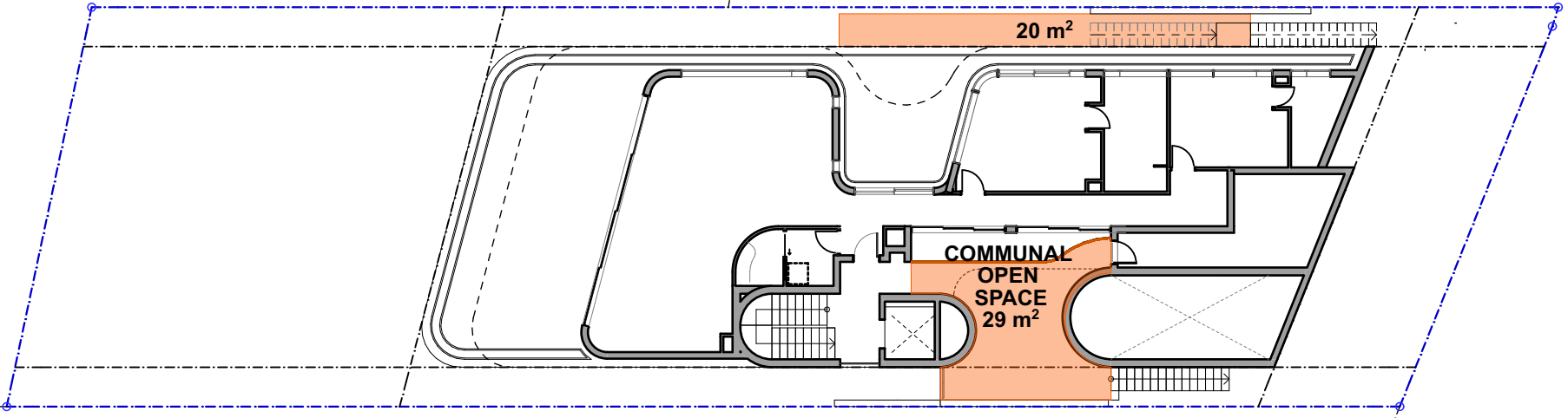


SECOND FLOOR PLAN

COMMUNAL SPACE



FIRST FLOOR PLAN



GROUND FLOOR PLAN

SITE INFORMATION

TITLE DESCRIPTION	DP532849
ZONING	R3 Medium Density Residential
MAXIMUM BUILDING HEIGHT (K)	10.5m
SITE AREA	829.7m² (By Survey)
BUILDABLE AREA	413m²
NON-BUILDABLE AREA	416.7m²
FRONT SETBACK AREA	82m²
REAR SETBACK AREA	234m²

CONTROLS SUMMARY

COUNCIL CONTROL	CONTROLS	PROPOSED	COMPLIES	NOTES
HEIGHT OF BUILDING (LEP)	10.5 m	10.5 m	YES	
FLOOR SPACE RATIO (I1 - 0.75)	622m²	622m²	YES	
PRIVATE OPEN SPACE (each dwelling is provided with private open space which has a minimum area of 8m² and minimum dimensions of 2m x 2m )	8 m²	UNIT 1 37m² UNIT 2 90m² UNIT 3 105m²	YES	
DEEPSOIL AREA (min. % of site outside buildable area)	208m² 50%	209m² 50%	YES	
DEEPSOIL AREA - FRONT SETBACK (min. % of front setback area)	33m² 40%	40m² 49%	YES	
DEEPSOIL AREA - REAR SETBACK (min. % of rear setback area)	117m² 50%	126m² 54%	YES	
COMMUNAL OPEN SPACE (min. % of site)	207m² 25%	140m² 17%	NO	

EXCAVATION SUMMARY (REFER TO EXCAVATION DIAGRAM ON DA-25)

COUNCIL CONTROL	CONTROLS	PROPOSED	COMPLIES
EXCAVATION CONTROL	850m³	TOTAL PROPOSED EXCAVATION VOLUME 1785m³ EXCAVATION VOLUME FOR BASEMENT CAR-PARKING, CAR LIFT SHAFT, CAR STACKER PIT AND CAR-PARKING ACCESS 800m³ EXCAVATION VOLUME FOR BASEMENT STORAGE 21.7m³ EXCAVATION VOLUME FOR SERVICES (INCLUDING PLANT ROOM, RAINWATER TANK, OSD TANK, WASTE ROOM) 225.5m³ EXCAVATION VOLUME FOR DWELLING 409.8m³ EXCAVATION VOLUME FOR RESIDENTIAL LIFT 28.7m³ EXCAVATION VOLUME FOR FIRE EGRESS 98m³ EXCAVATION VOLUME FOR LANDSCAPE & ACCESSIBLE WALKWAY 216.4m³ BACKFILL VOLUME -15m³ PROPOSED EXCAVATION VOLUME AFTER BACK-FILL 1785m³	NO



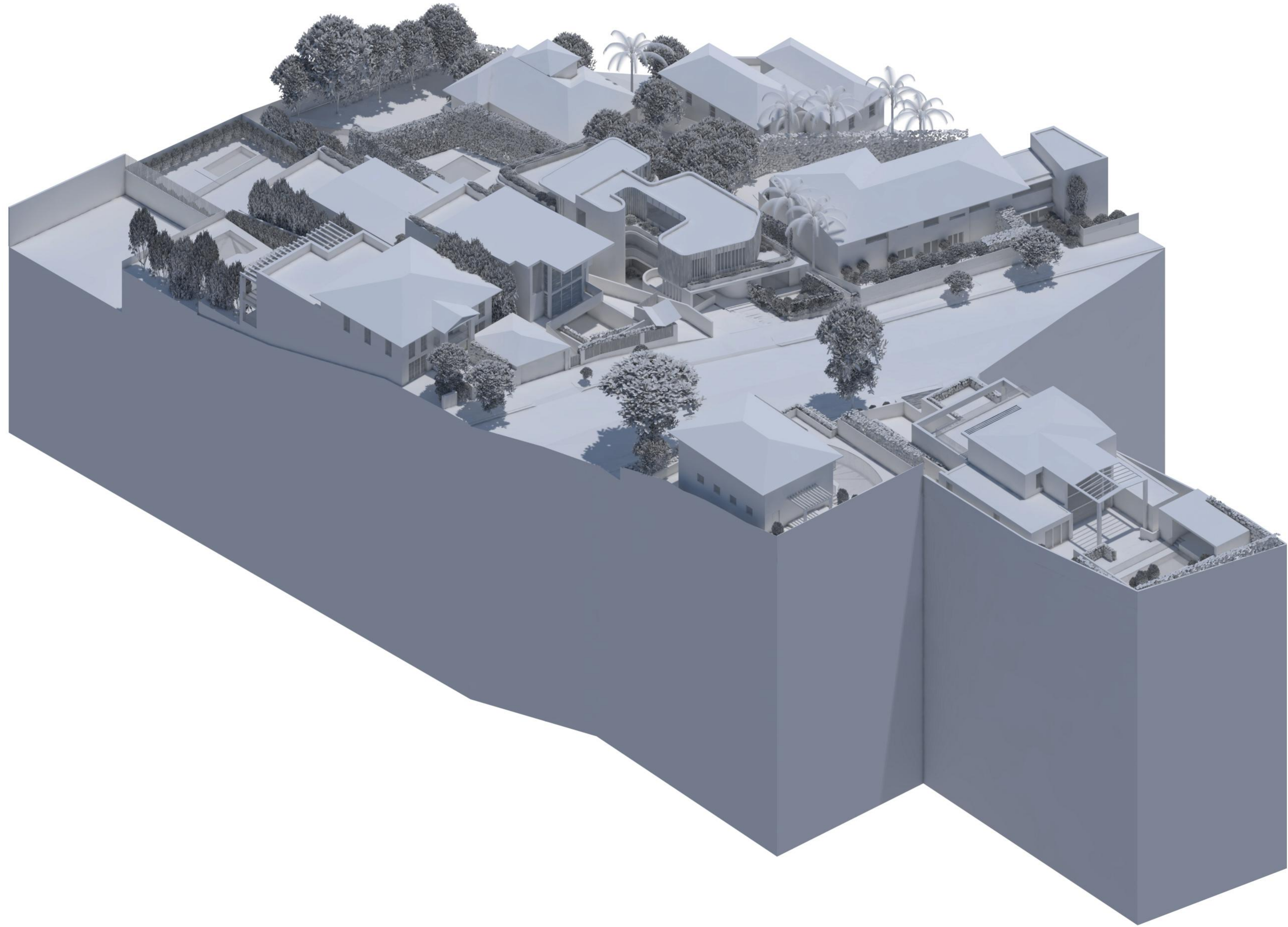


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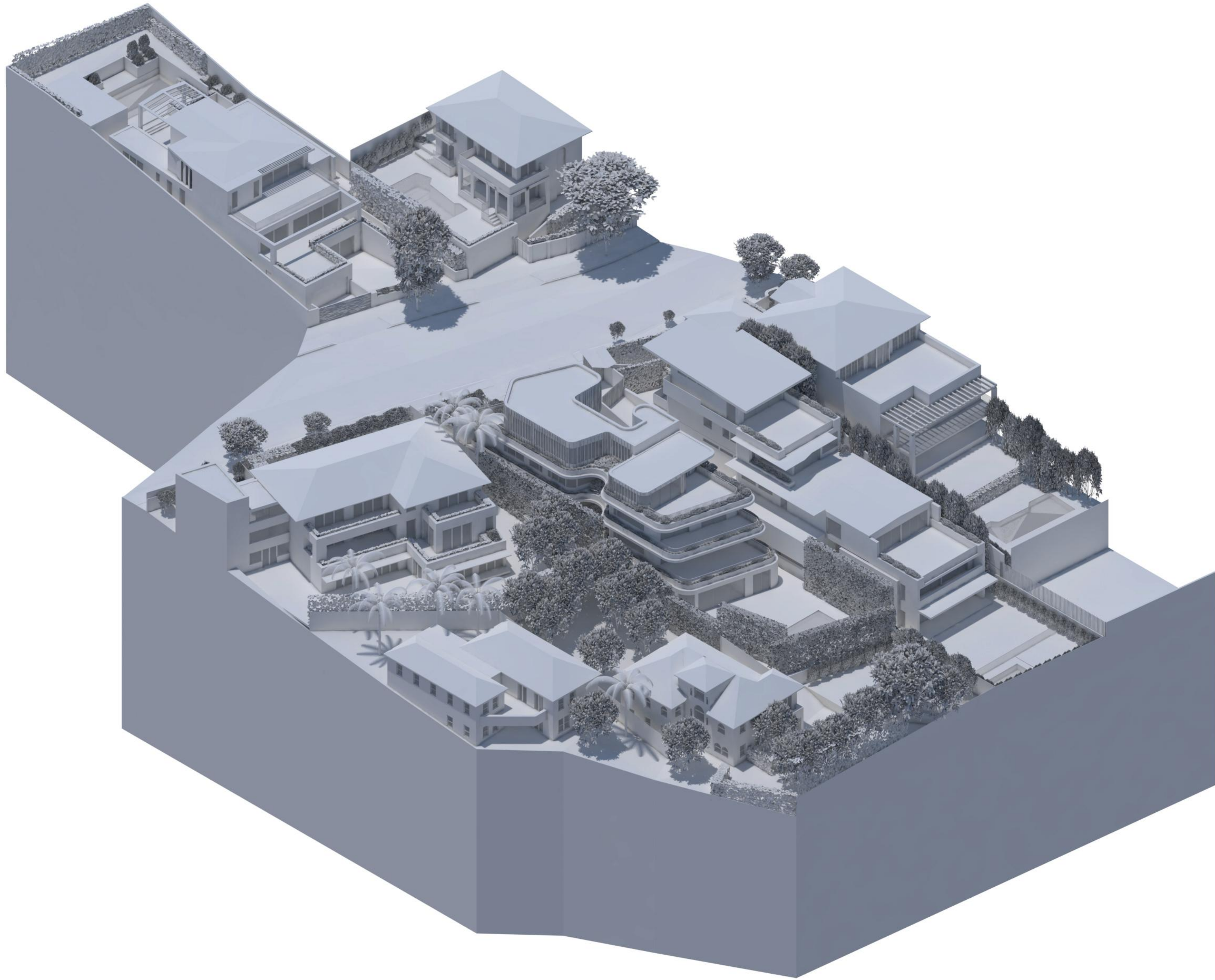


PROPOSED













RP \_ Light Colour Painted Render



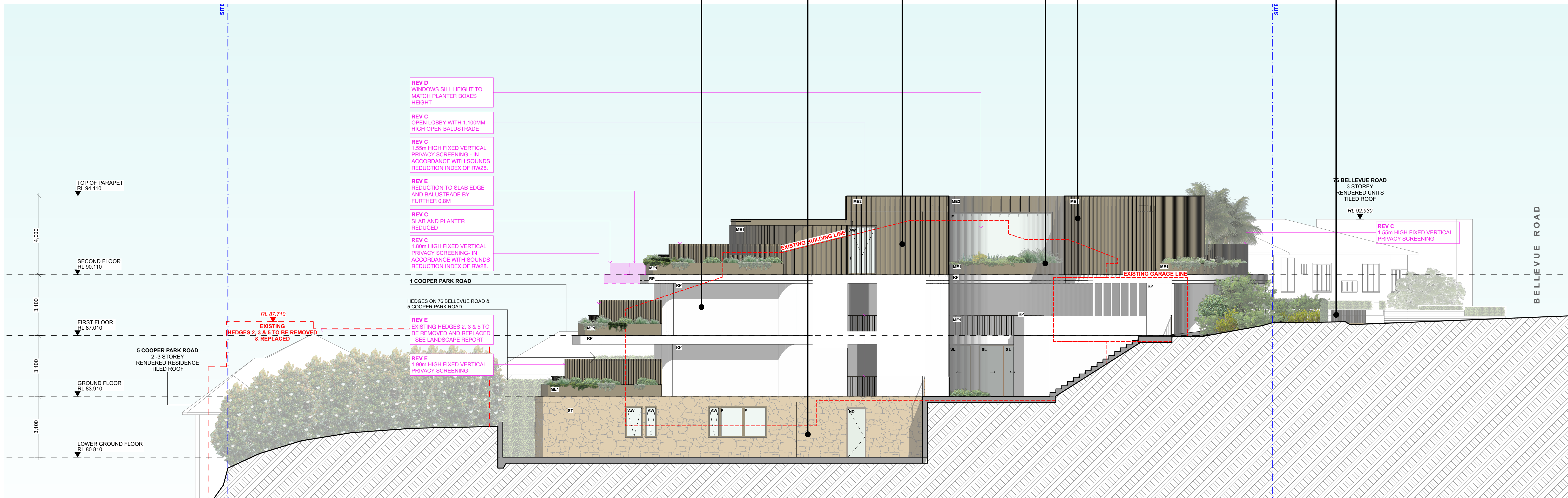
ST \_ Sandstone



ME2 \_ Copper or Dark Colour Finishes



ME1 \_ Copper or Dark Colour Metallic



REVISION:

A	26/07/2022	DEVELOPMENT APPLICATION
B	05/09/2022	UPDATED DA DRAWING
C	01/05/2023	AMENDMENTS IN RESPONSE TO SOFAC
D	14/07/2023	UPDATED BASIX
E	28/07/2023	S34 AMENDMENTS

DEVELOPMENT APPLICATION  
UPDATED DA DRAWING  
AMENDMENTS IN RESPONSE TO SOFAC  
UPDATED BASIX  
S34 AMENDMENTS

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NOMINATED ARCHITECT BRIAN MEYERSON 4907



PROJECT:

74 BELLEVUE ROAD

DRAWING TITLE:

EXTERNAL FINISHES SCHEDULE

PROJECT ADDRESS:

74 BELLEVUE RD, BELLEVUE HILL NSW 2023

DATE:

28/7/23

PROJECT NUMBER:

20-087

SCALE:

@A1

DRAWING NUMBER:

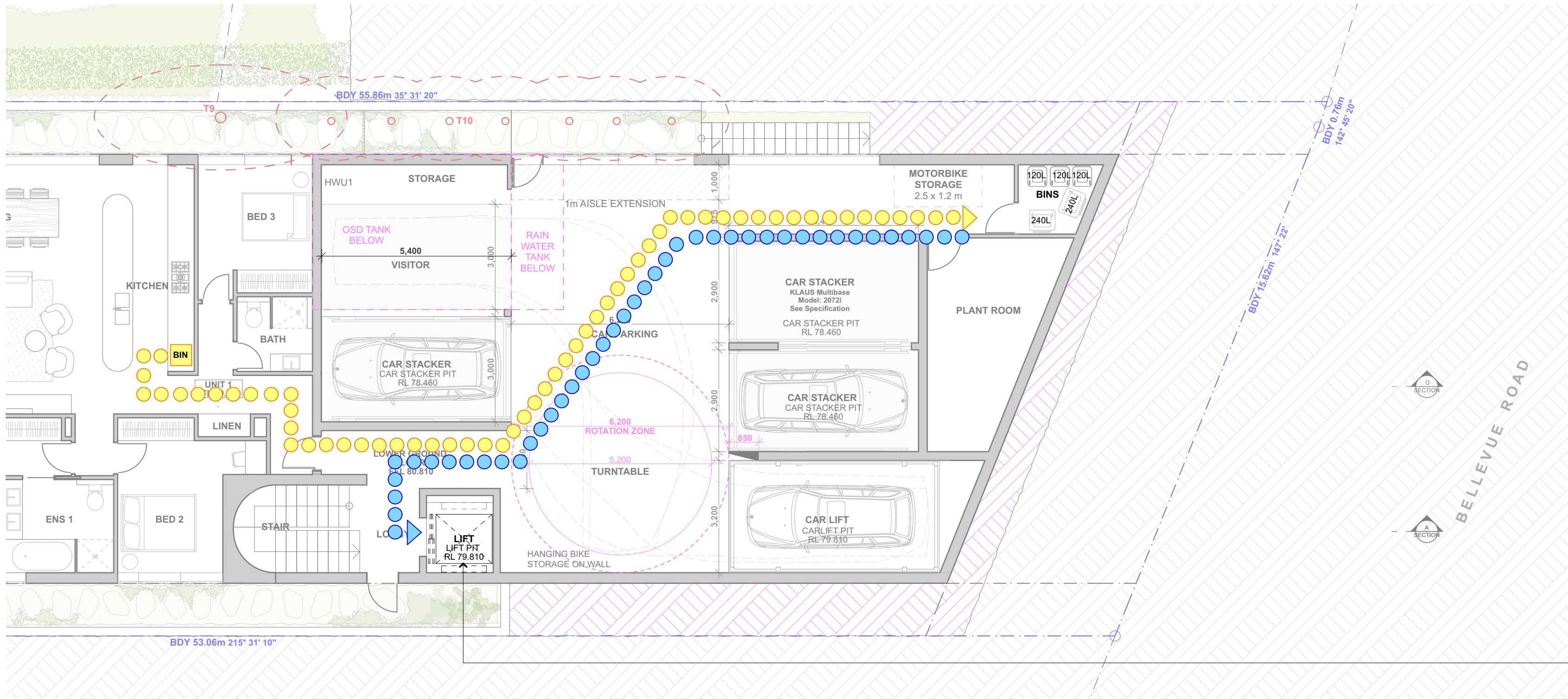
DA 19

REVISION:

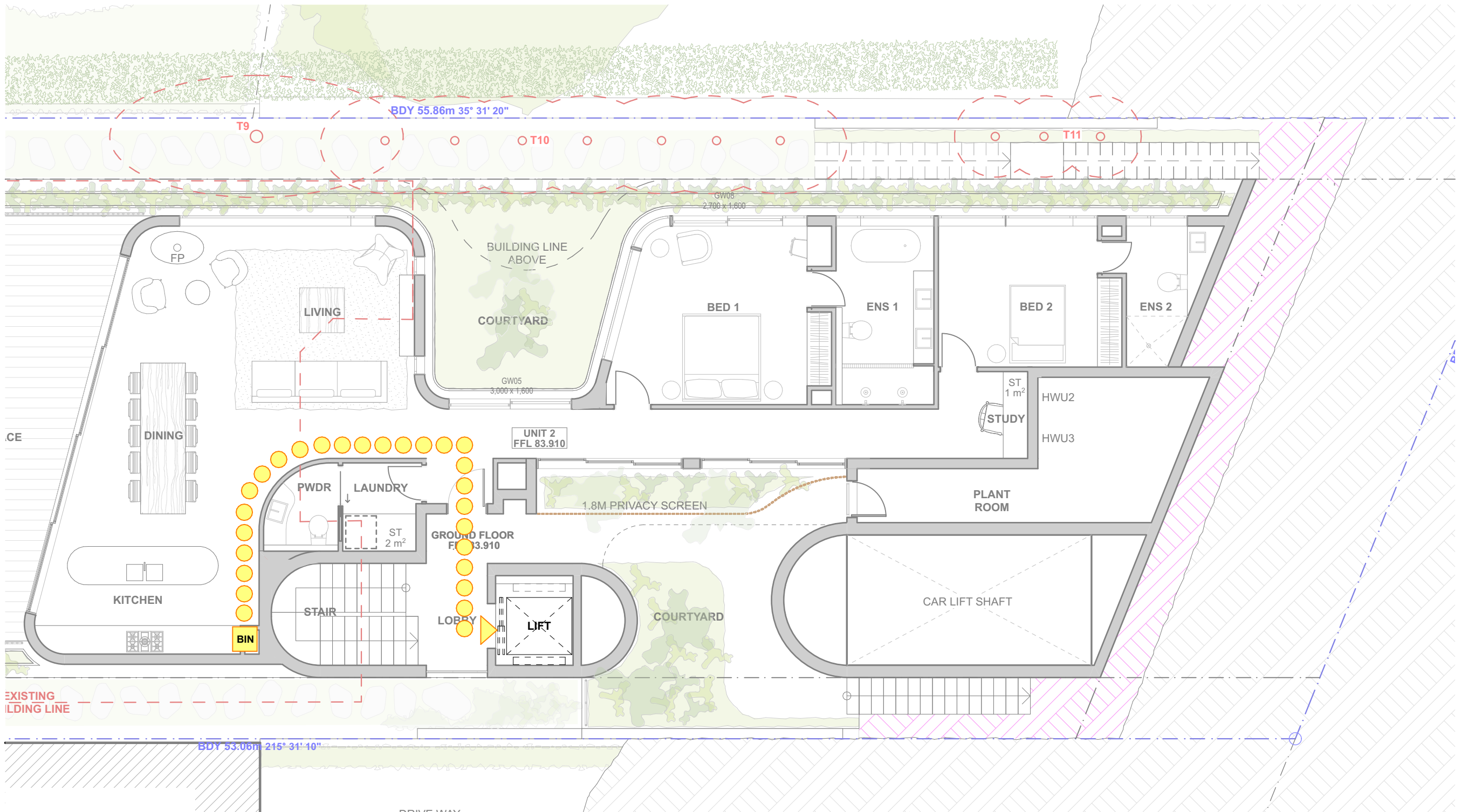
E

MHNDU<sup>UNION</sup>

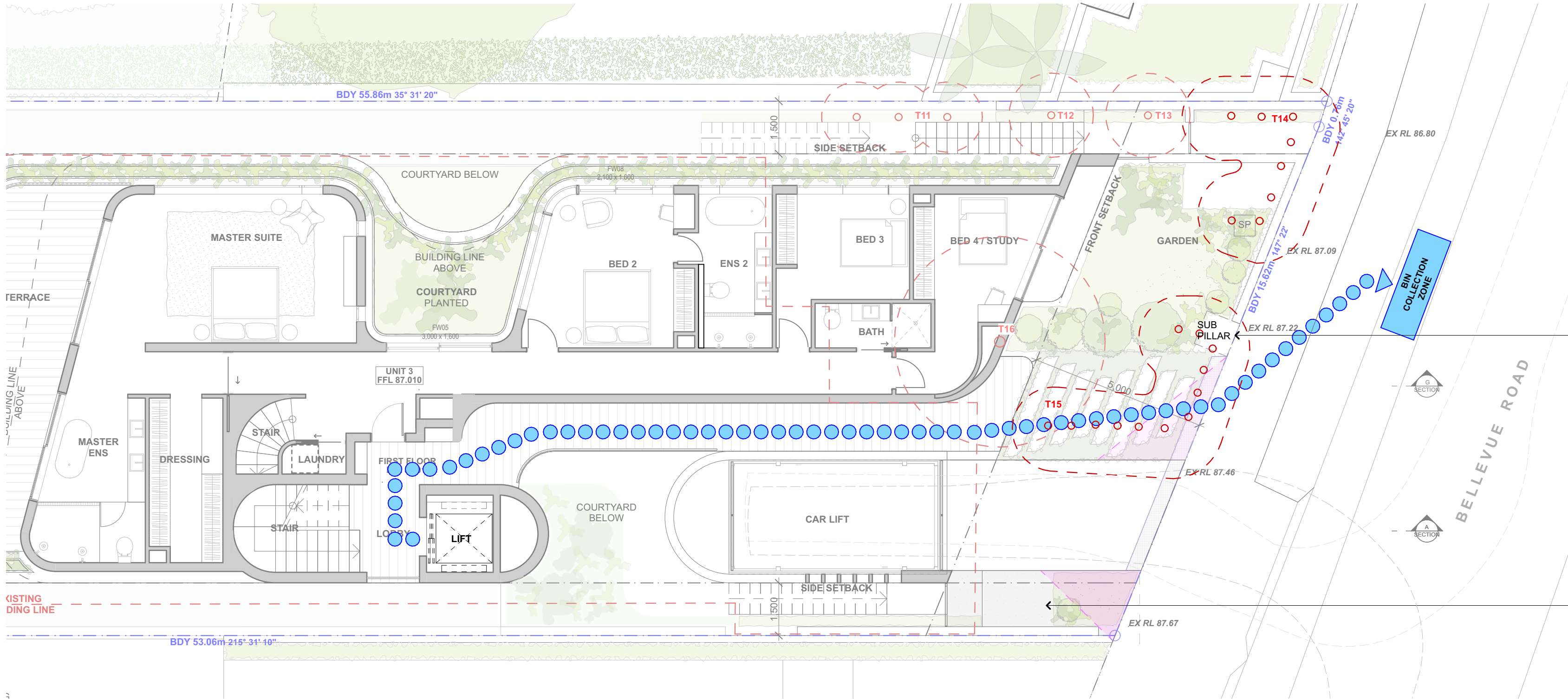




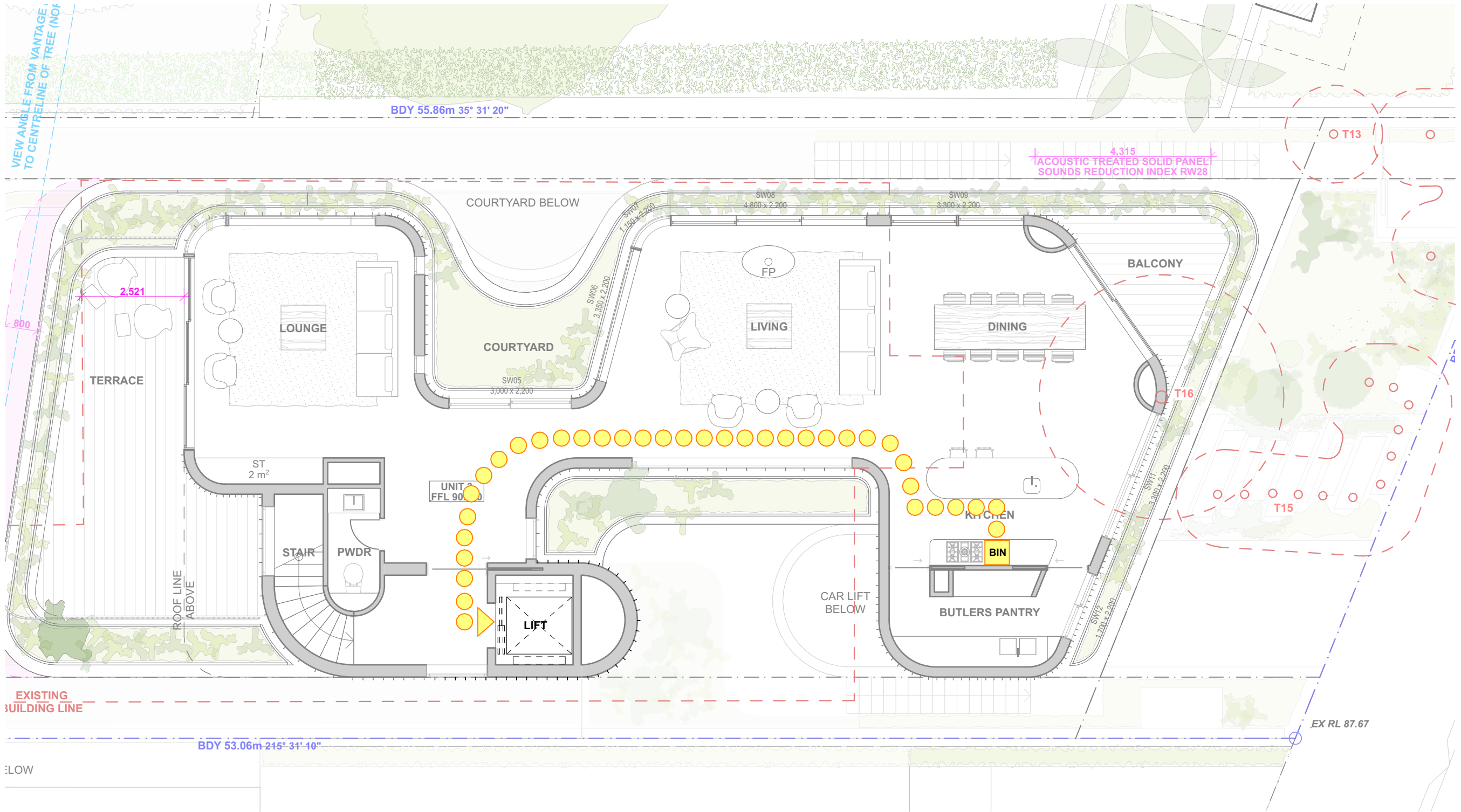
1 LOWER GROUND FLOOR 1:100



2 GROUND FLOOR 1:100



3 FIRST FLOOR 1:100



4 SECOND FLOOR 1:100

REVISION:		
A	26/07/2022	DEVELOPMENT APPLICATION
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PROJECT:  
74 BELLEVUE ROAD  
DRAWING TITLE:  
SWMP

PROJECT ADDRESS:  
74 BELLEVUE RD, BELLEVUE HILL NSW 2023

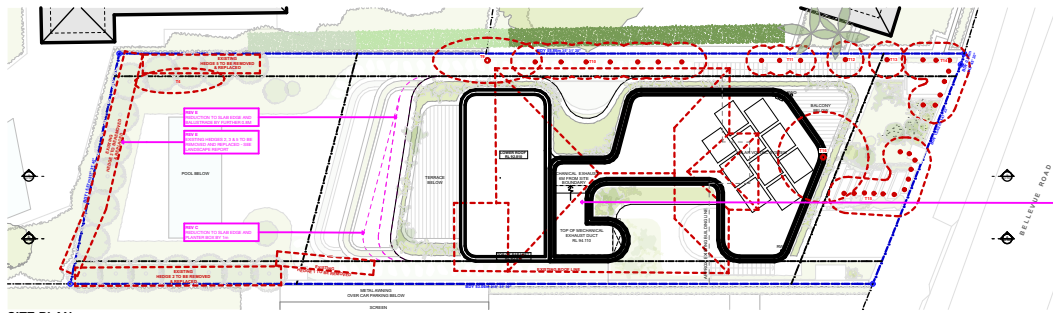
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28/7/23  
PROJECT NUMBER:  
20-087

SCALE:  
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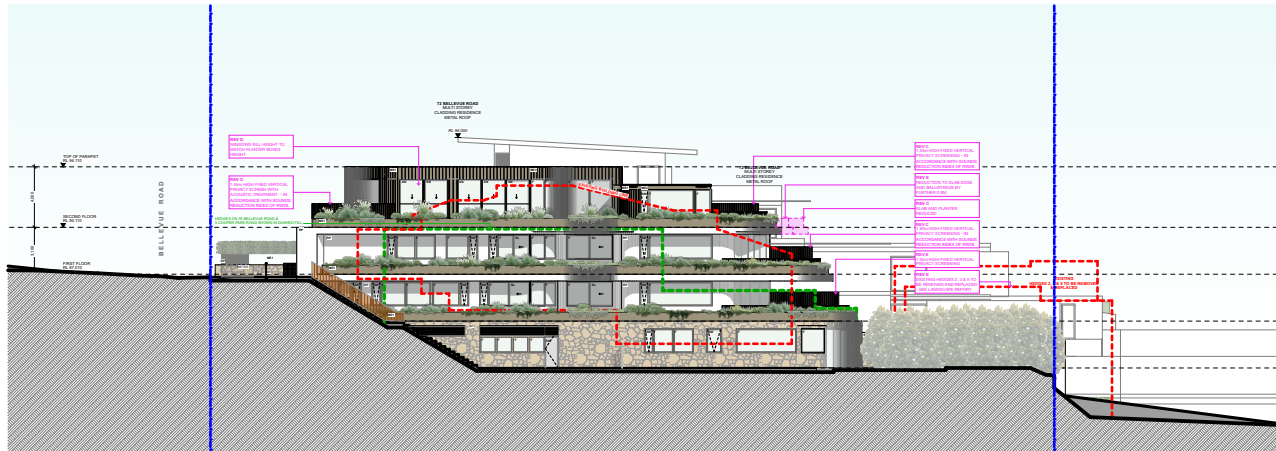
REVISION:  
E

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UNION

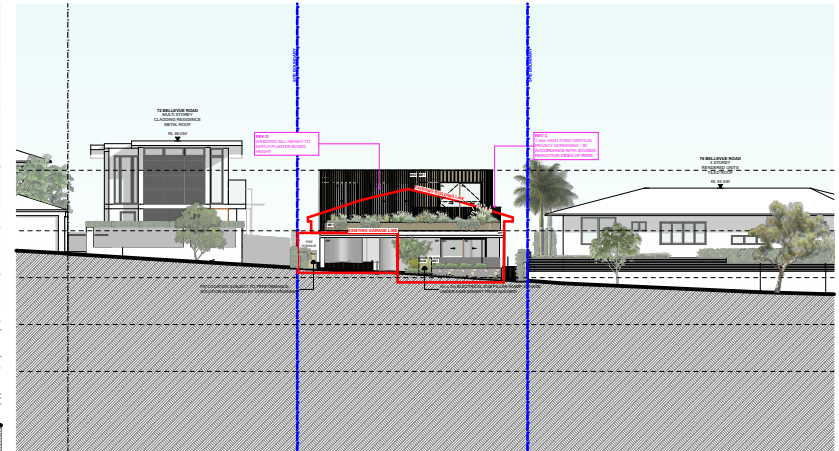




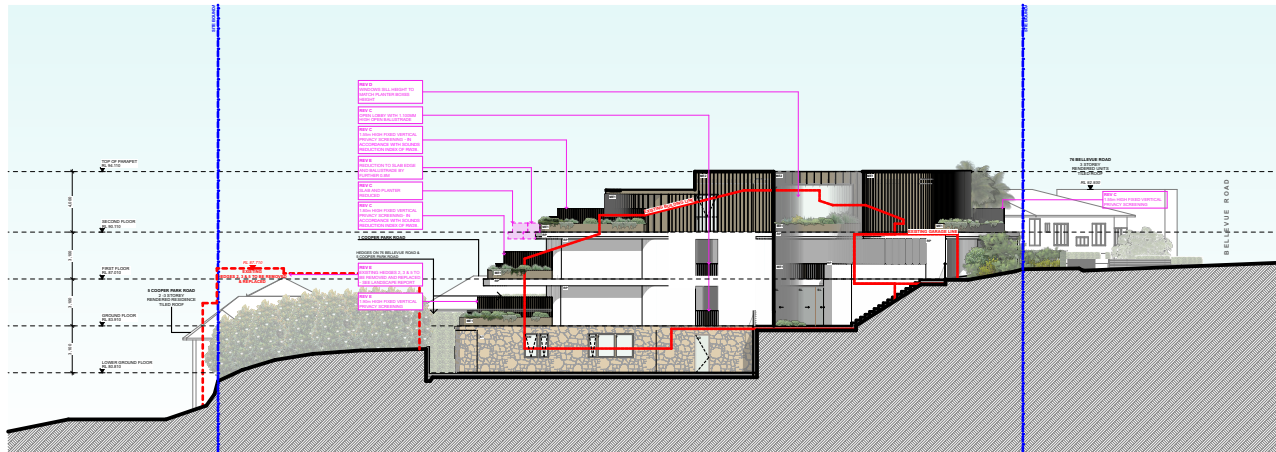
SITE PLAN



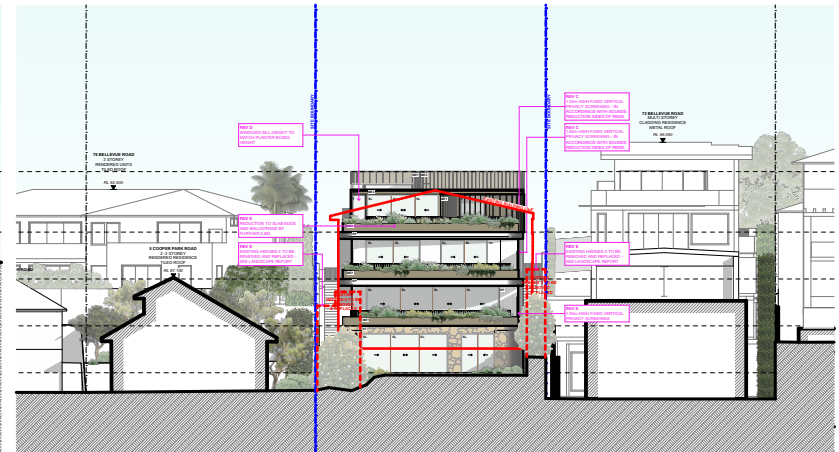
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

REV	INIT.	DATE	REVISION DETAILS
A		26/07/22	DEVELOPMENT APPLICATION
B		05/09/22	UPDATED DA DRAWING
C		01/05/23	AMENDMENTS IN RESPONSE TO SOFAC
D		14/07/23	UPDATED BASIX
E		28/07/23	S34 AMENDMENTS



DRAWING TITLE:  
**NOTIFICATION PLANS**

PROJECT ADDRESS:  
**74 BELLEVUE ROAD, BELLEVUE HILL NSW 2023**

REF: BIMcloud: bcb-24-local - BIMcloud Basic for Archicad 24/20-087 74 Bellevue Road, Bellevue Hill - S34

PROJECT NUMBER:  
**20-087**

ISSUE DATE: 28/7/23

SCALE: 1:500

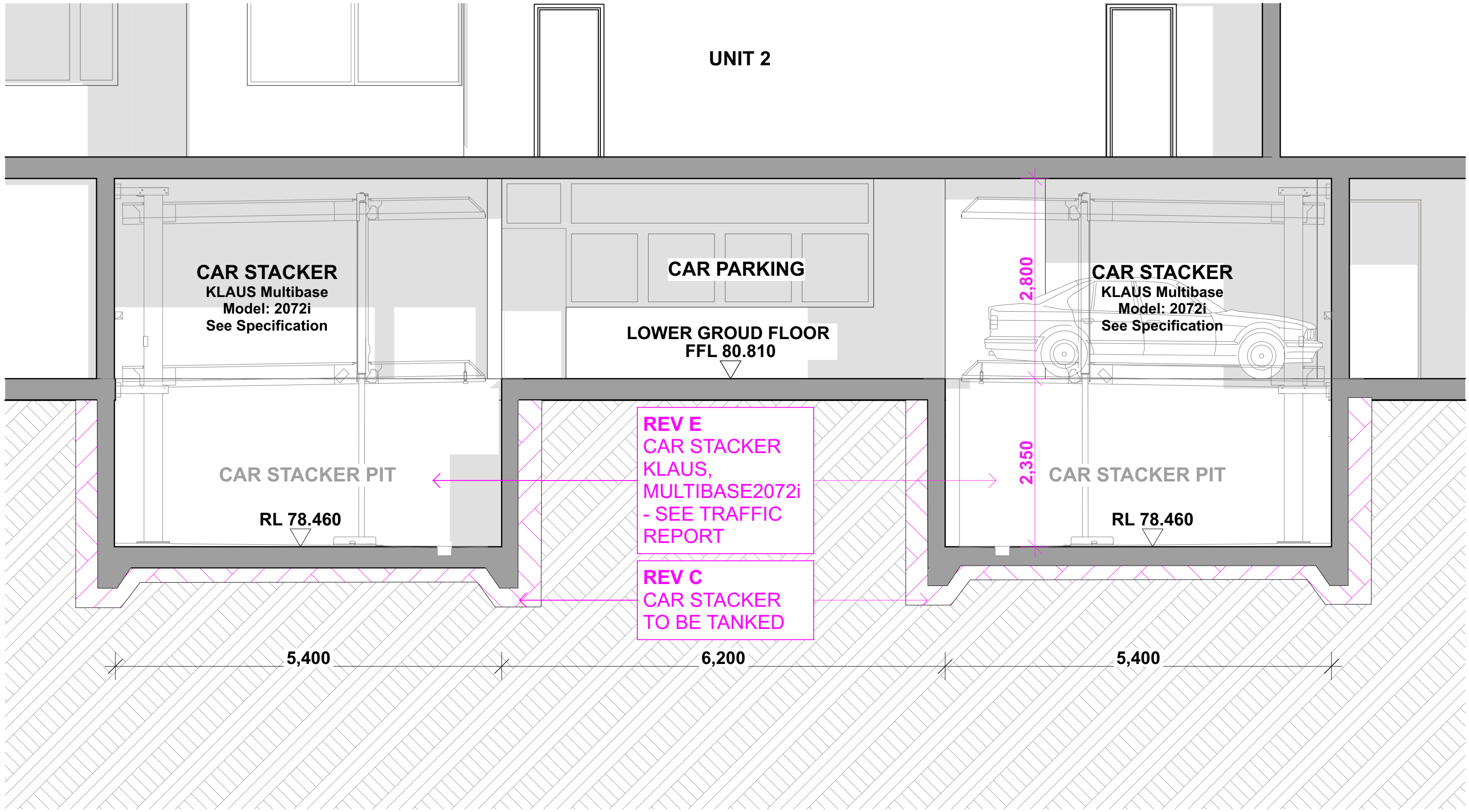
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DWG NUMBER:  
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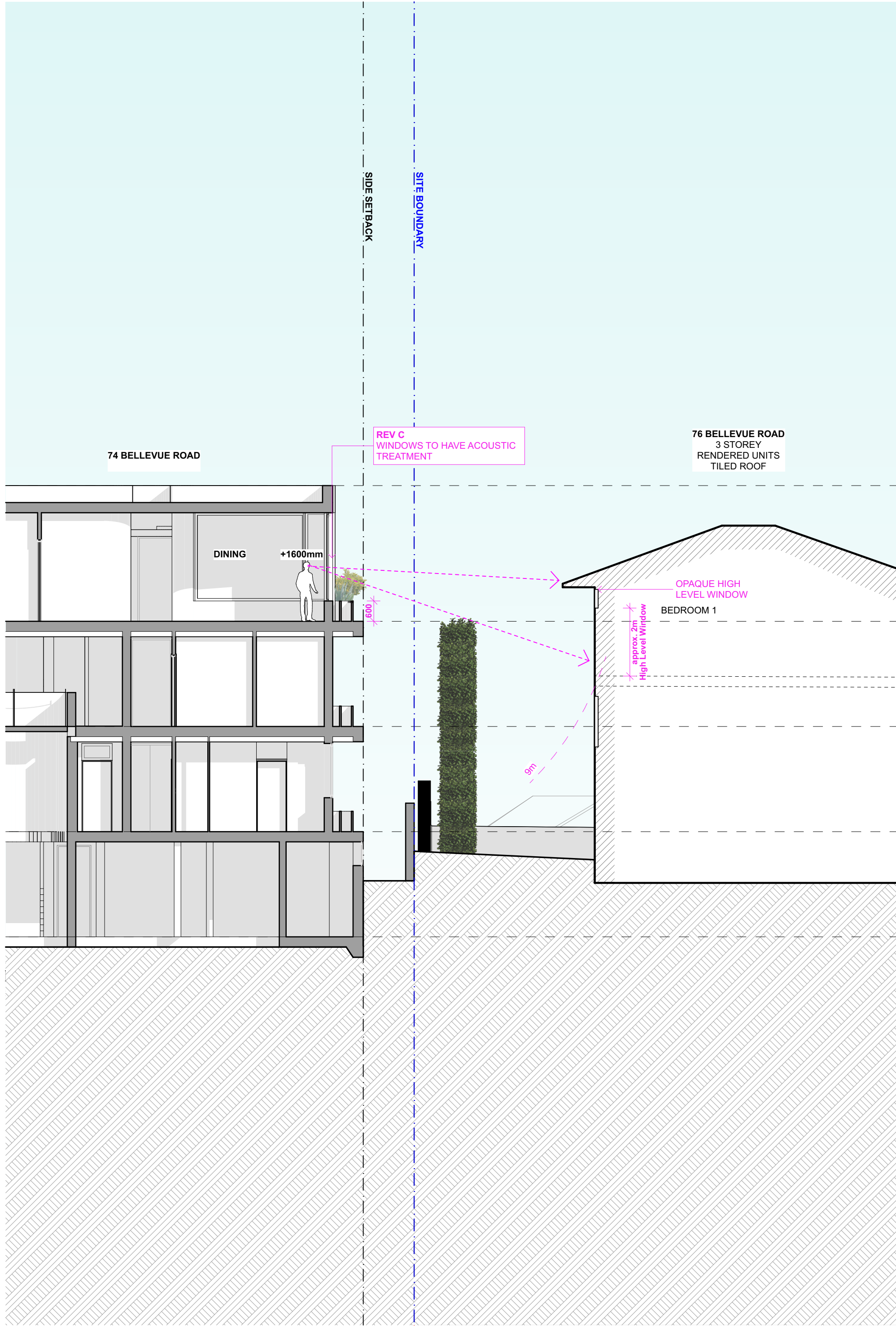
REVISION:

CHECKED: DD

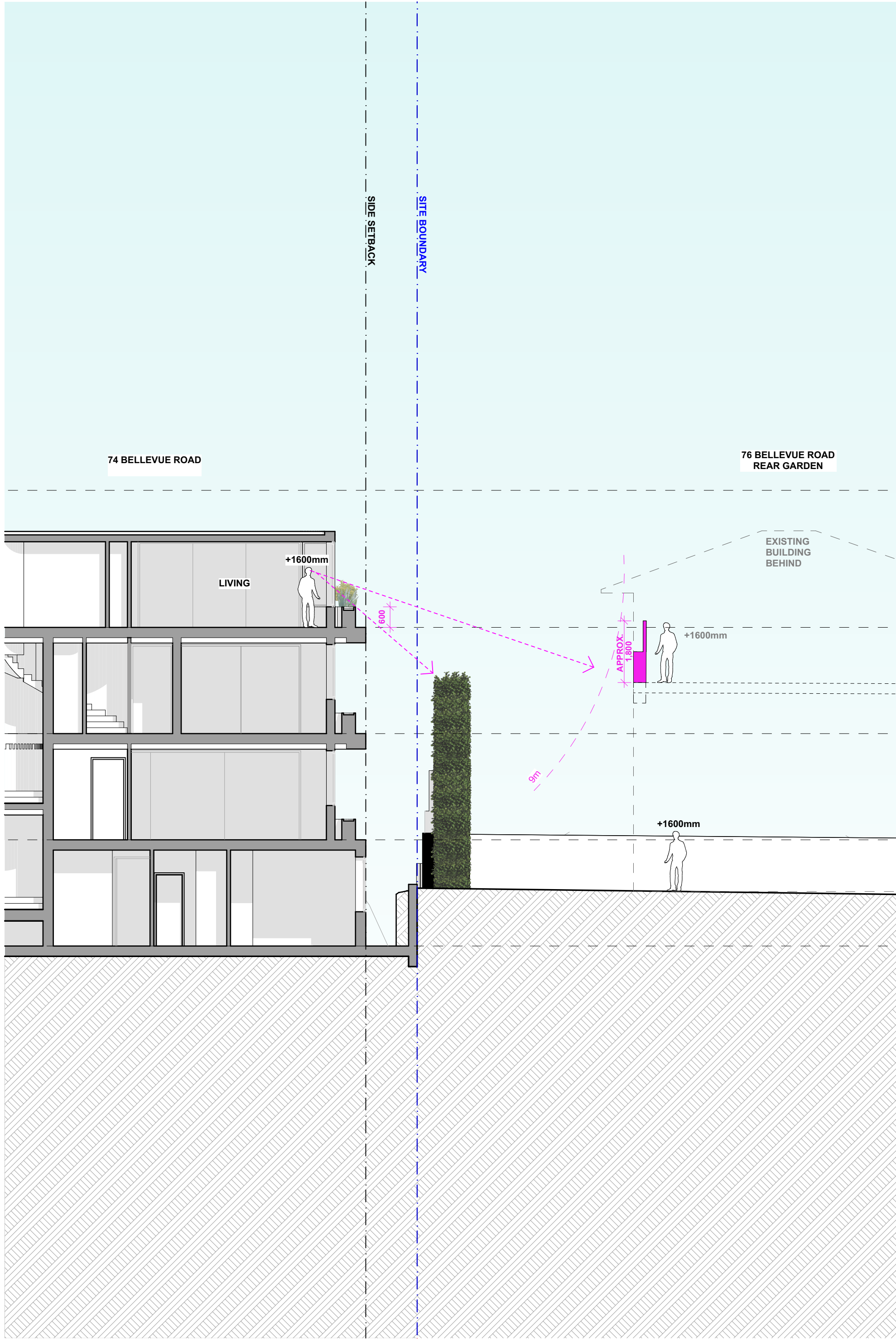




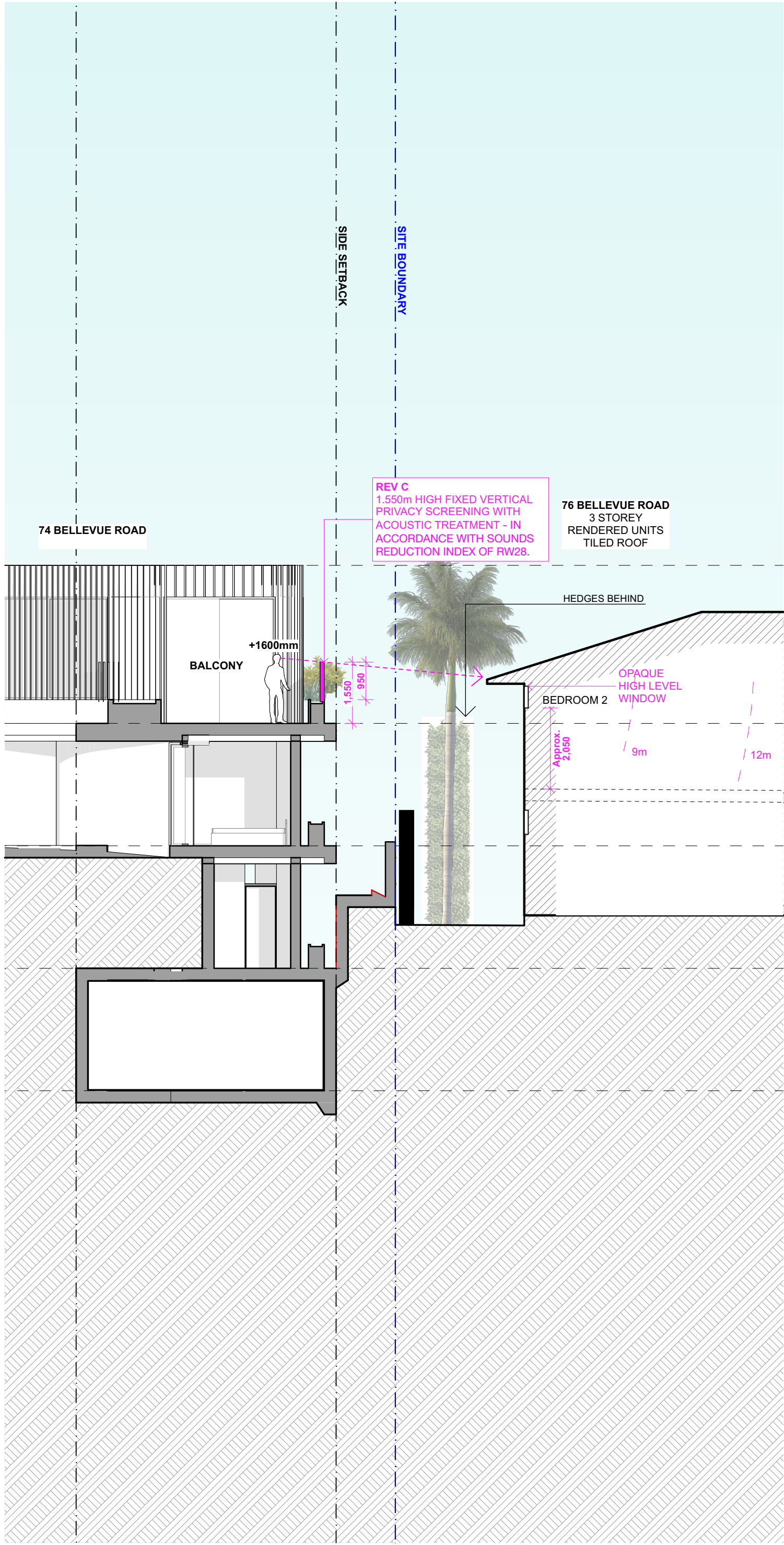




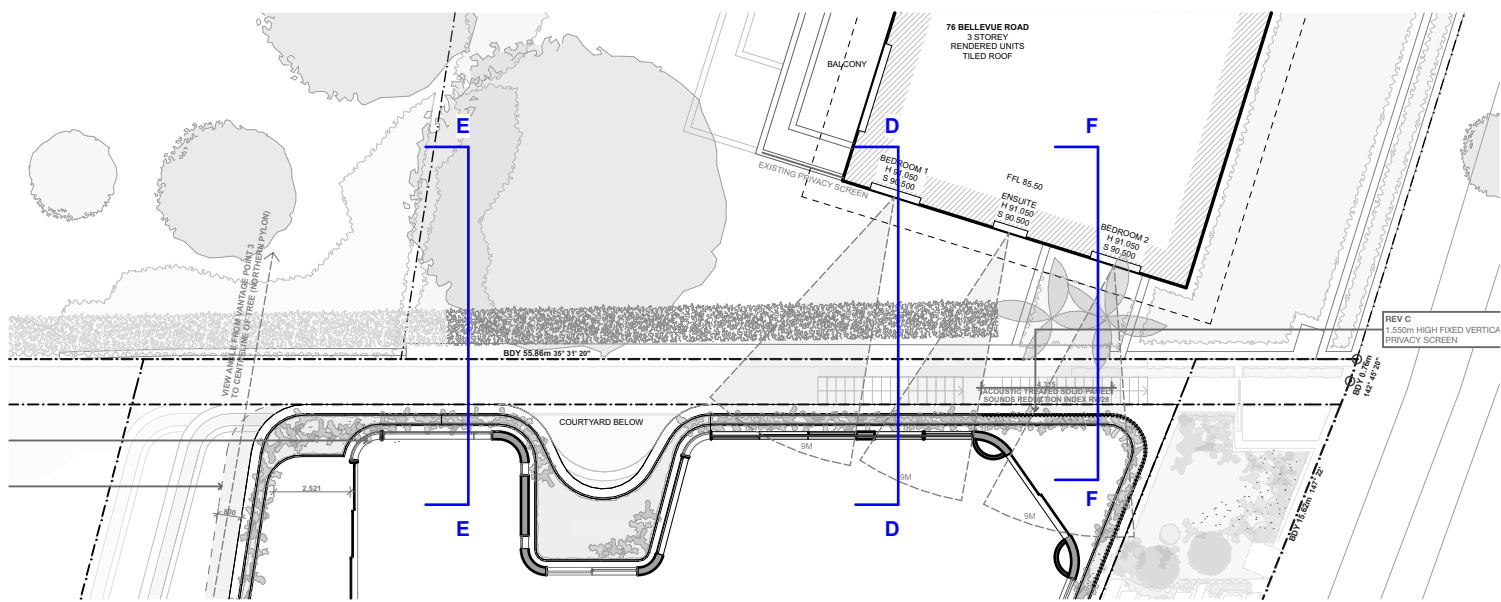
PRIVACY SECTION D



PRIVACY SECTION E



PRIVACY SECTION F



LEGEND - SECTION CUT - SECOND FLOOR

REVISION:	
A	26/07/2022
B	05/09/2022
C	01/05/2023
D	14/07/2023
E	28/07/2023

DEVELOPMENT APPLICATION
UPDATED DA DRAWING
AMENDMENTS IN RESPONSE TO SOFAC
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S34 AMENDMENTS

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NOMINATED ARCHITECT BRIAN MEYERSON 4907



PROJECT:  
74 BELLEVUE ROAD  
DRAWING TITLE:  
PRIVACY SECTION D + E + F

PROJECT ADDRESS:  
74 BELLEVUE RD, BELLEVUE HILL NSW 2023

DATE:  
28/7/23  
PROJECT NUMBER:  
20-087

SCALE:  
1:100@A1  
DRAWING NUMBER:  
DA 23

REVISION:  
E

MHNDU N I O N







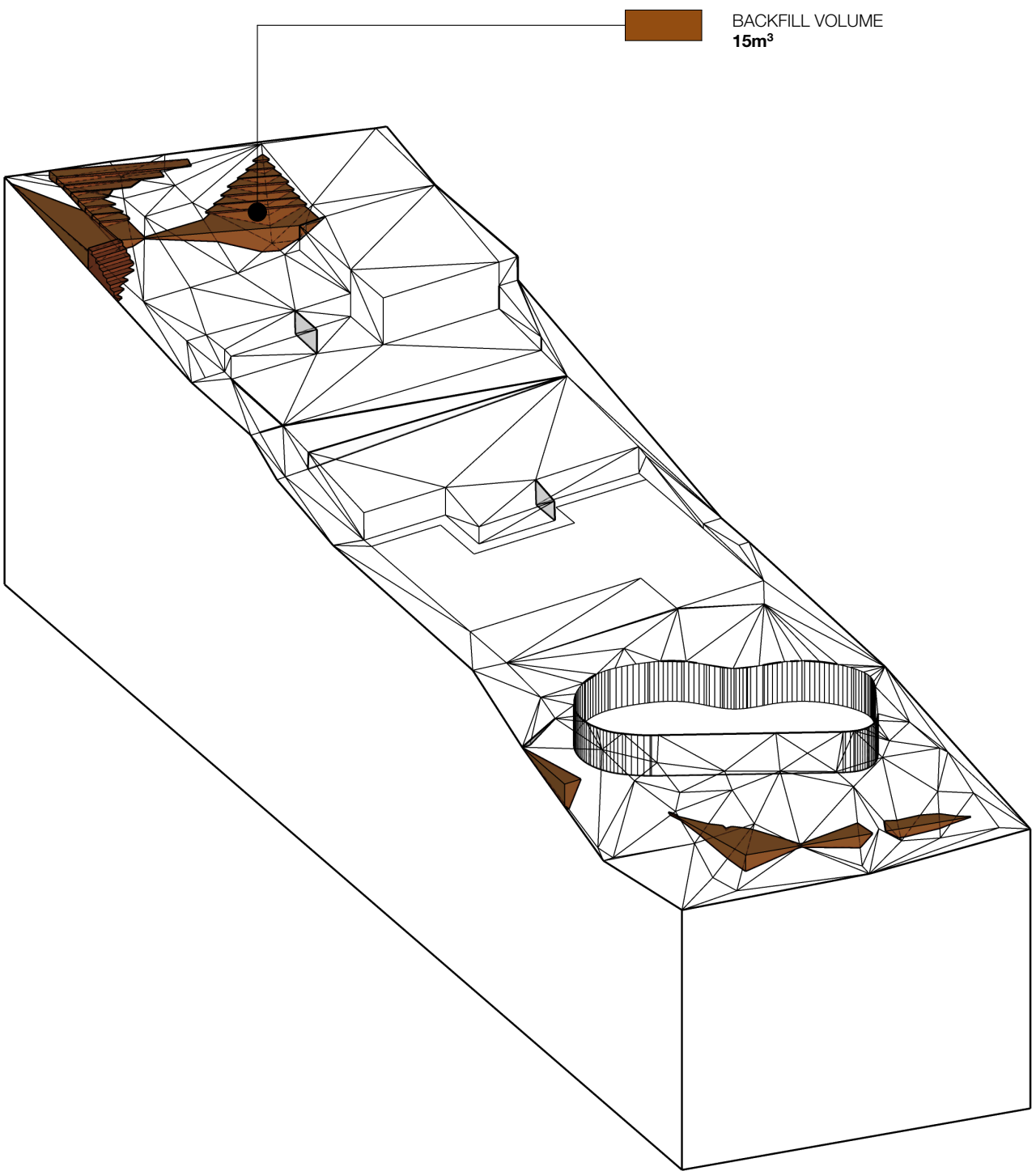
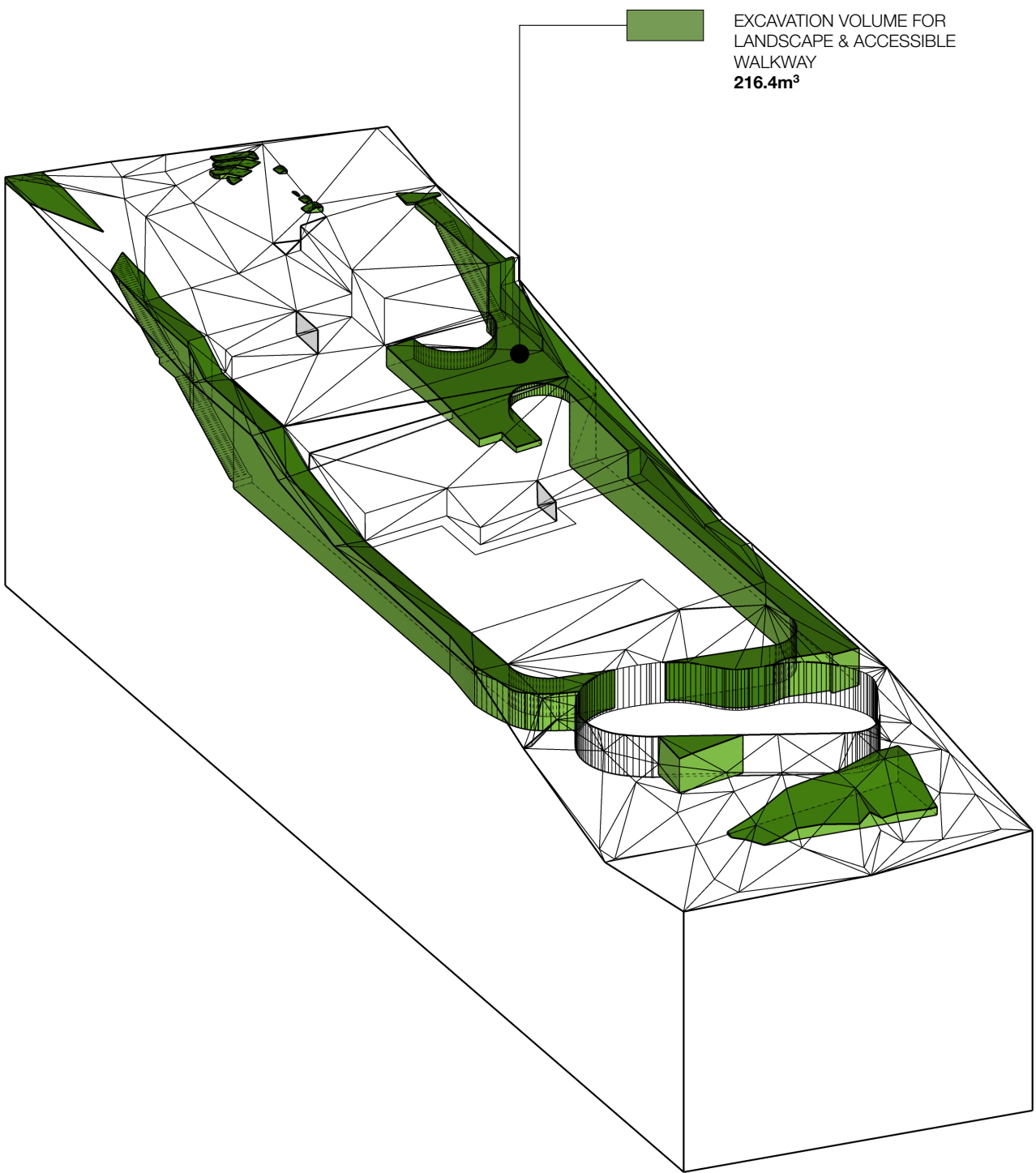
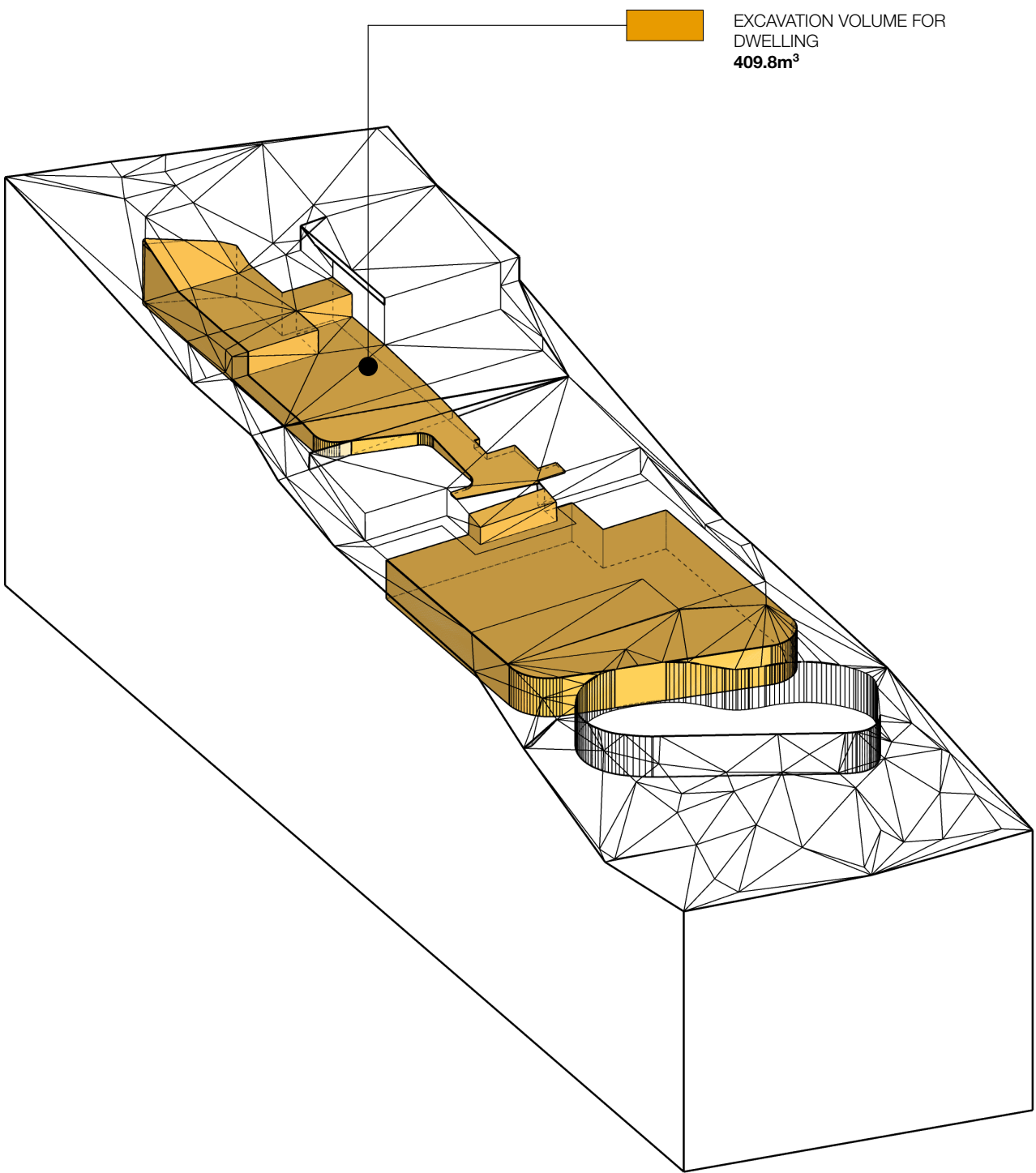
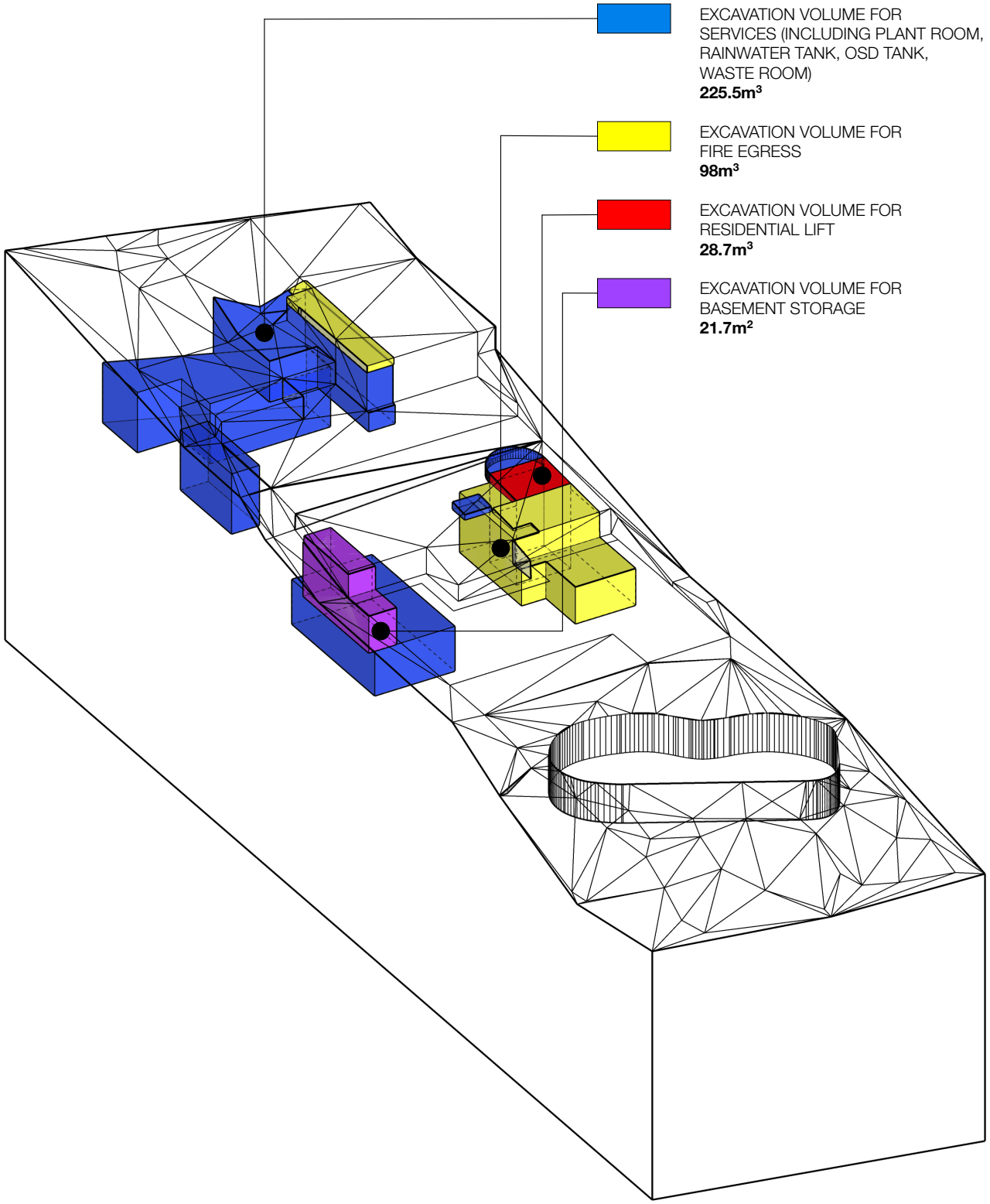
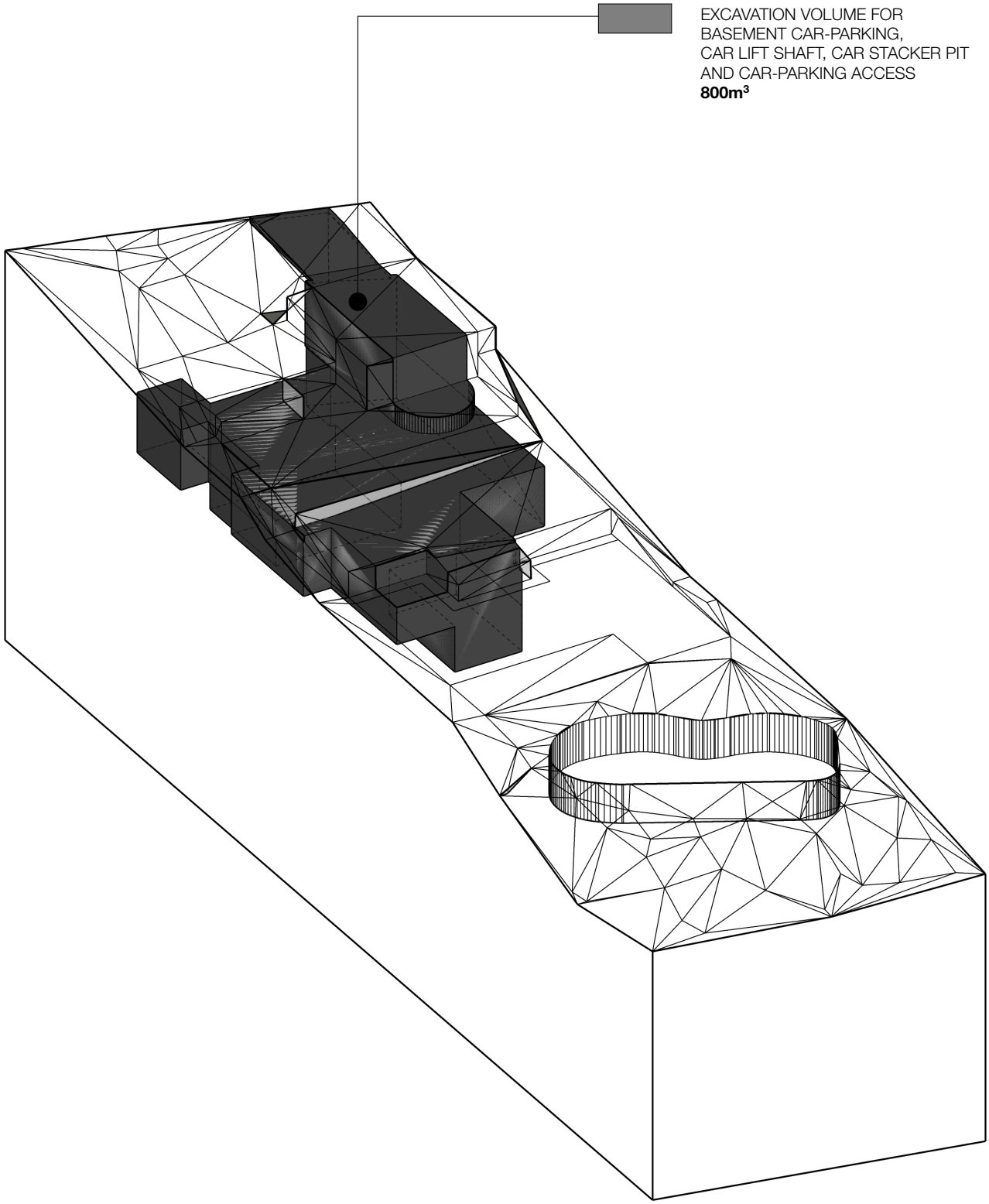
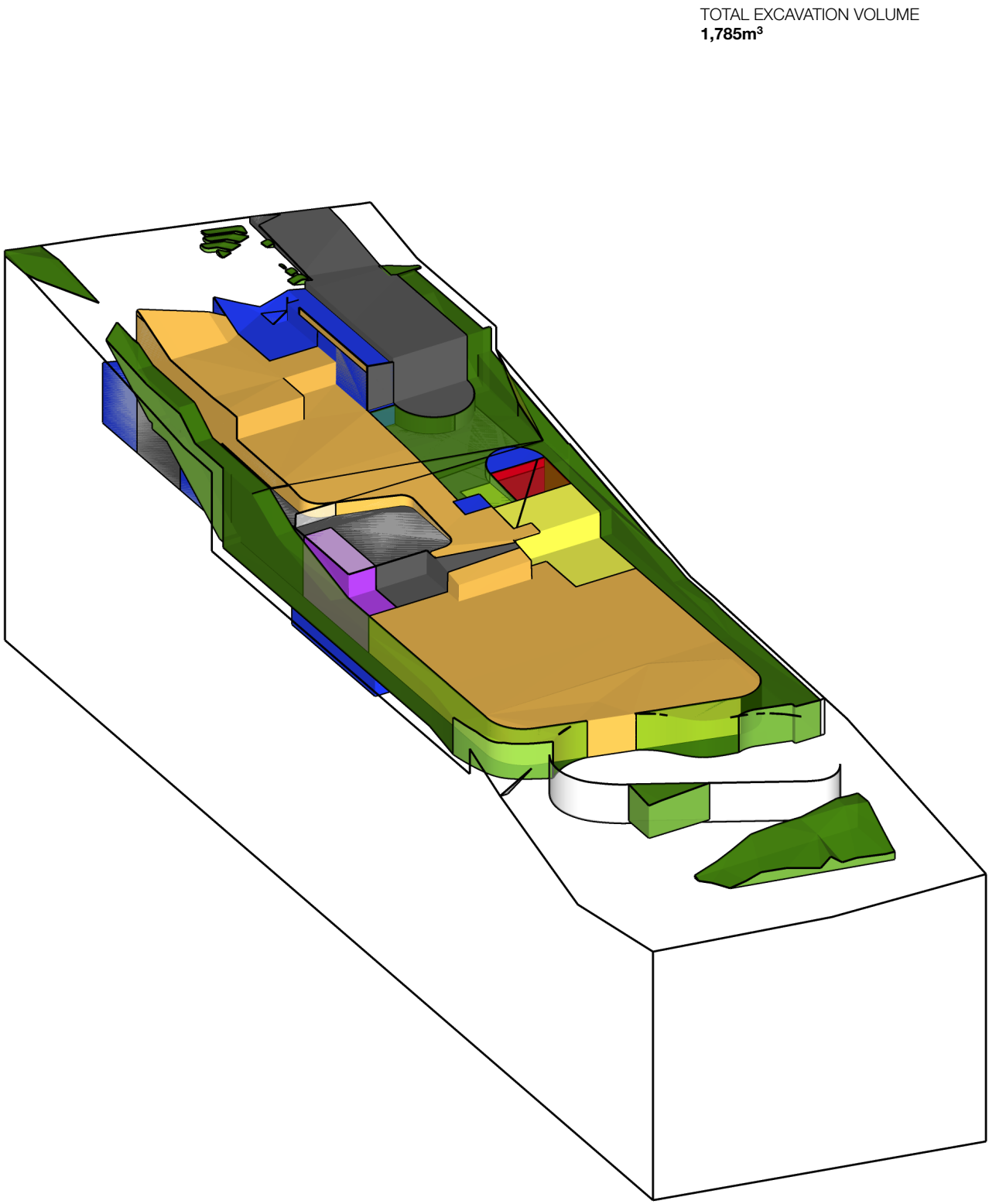
EXCAVATION CALCULATION DIAGRAM (APPENDIX)

EXCAVATION SUMMARY

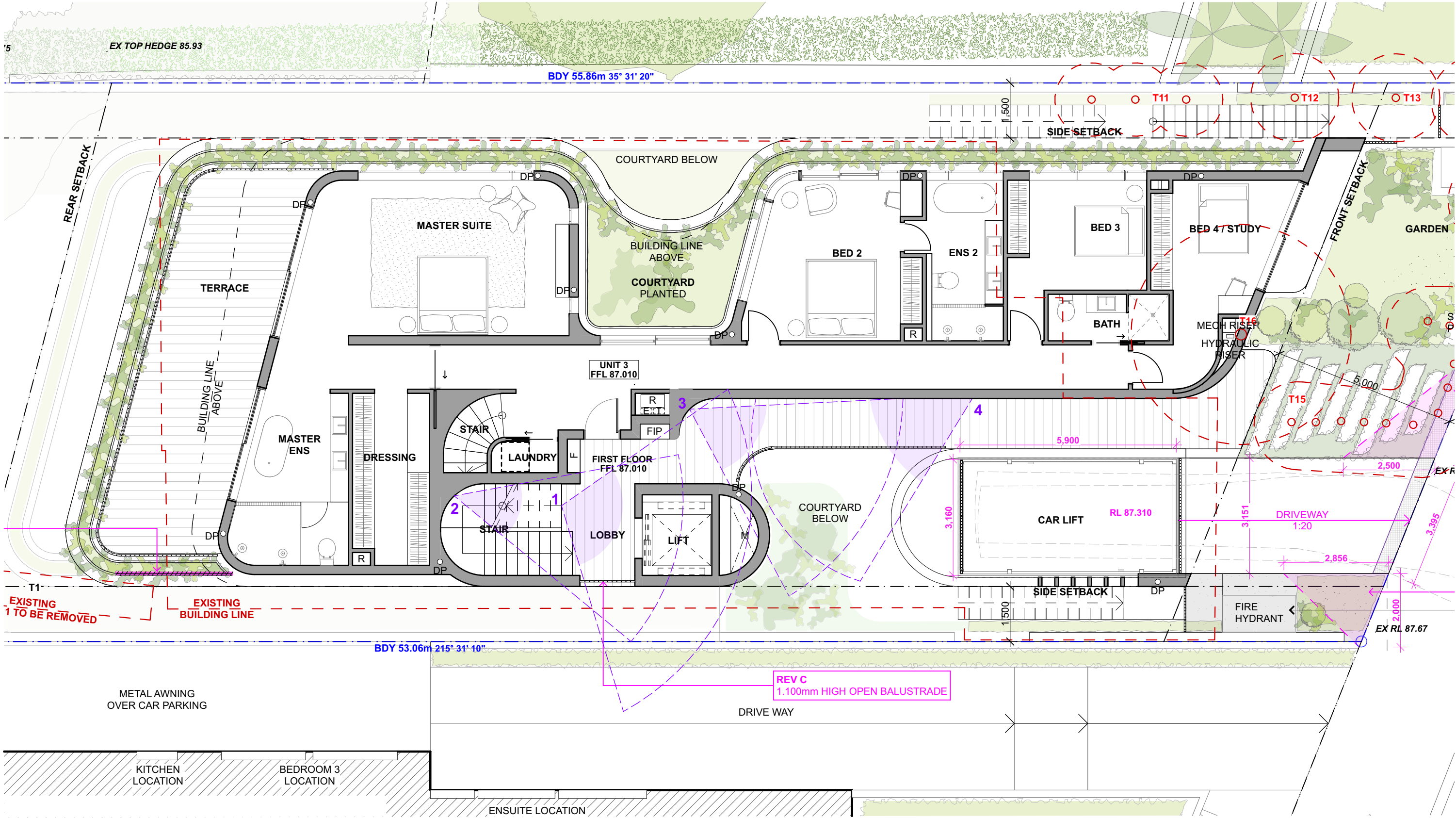
COUNCIL CONTROL                      CONTROLS                      PROPOSED                      COMPLIES

EXCAVATION CONTROL                      850m³                      TOTAL PROPOSED EXCAVATION VOLUME 1,785m³

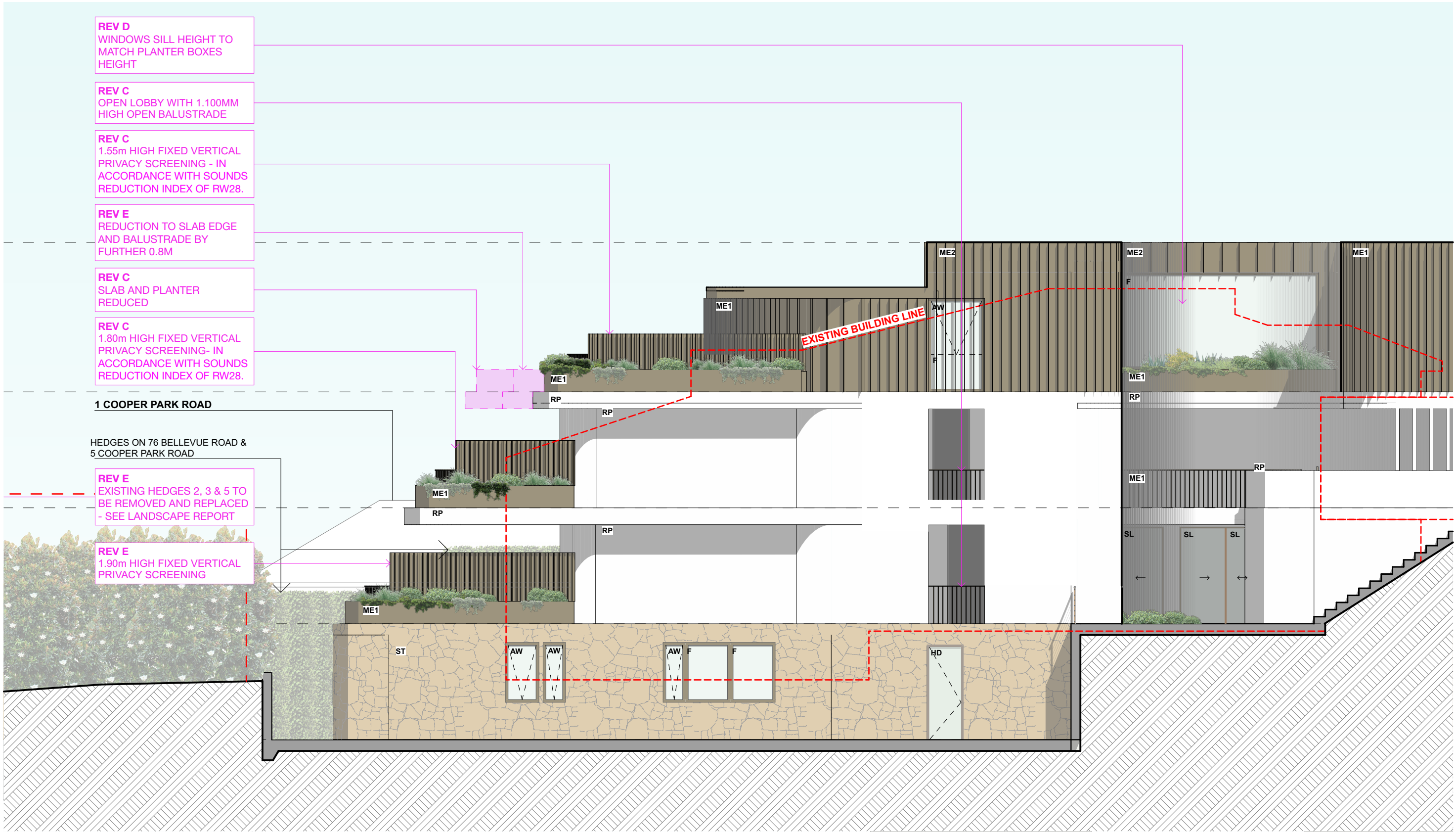
- EXCAVATION VOLUME FOR BASEMENT CAR-PARKING, CAR LIFT SHAFT, CAR STACKER PIT AND CAR-PARKING ACCESS 800m³
- EXCAVATION VOLUME FOR BASEMENT STORAGE 21.7m³
- EXCAVATION VOLUME FOR SERVICES (INCLUDING PLANT ROOM, RAINWATER TANK, OSD TANK, WASTE ROOM) 225.5m³
- EXCAVATION VOLUME FOR DWELLING 409.8m³
- EXCAVATION VOLUME FOR RESIDENTIAL LIFT 28.7m³
- EXCAVATION VOLUME FOR FIRE EGRESS 98m³
- EXCAVATION VOLUME FOR LANDSCAPE & ACCESSIBLE WALKWAY 216.4m³
- BACKFILL VOLUME 15m³







FIRST FLOOR PLAN



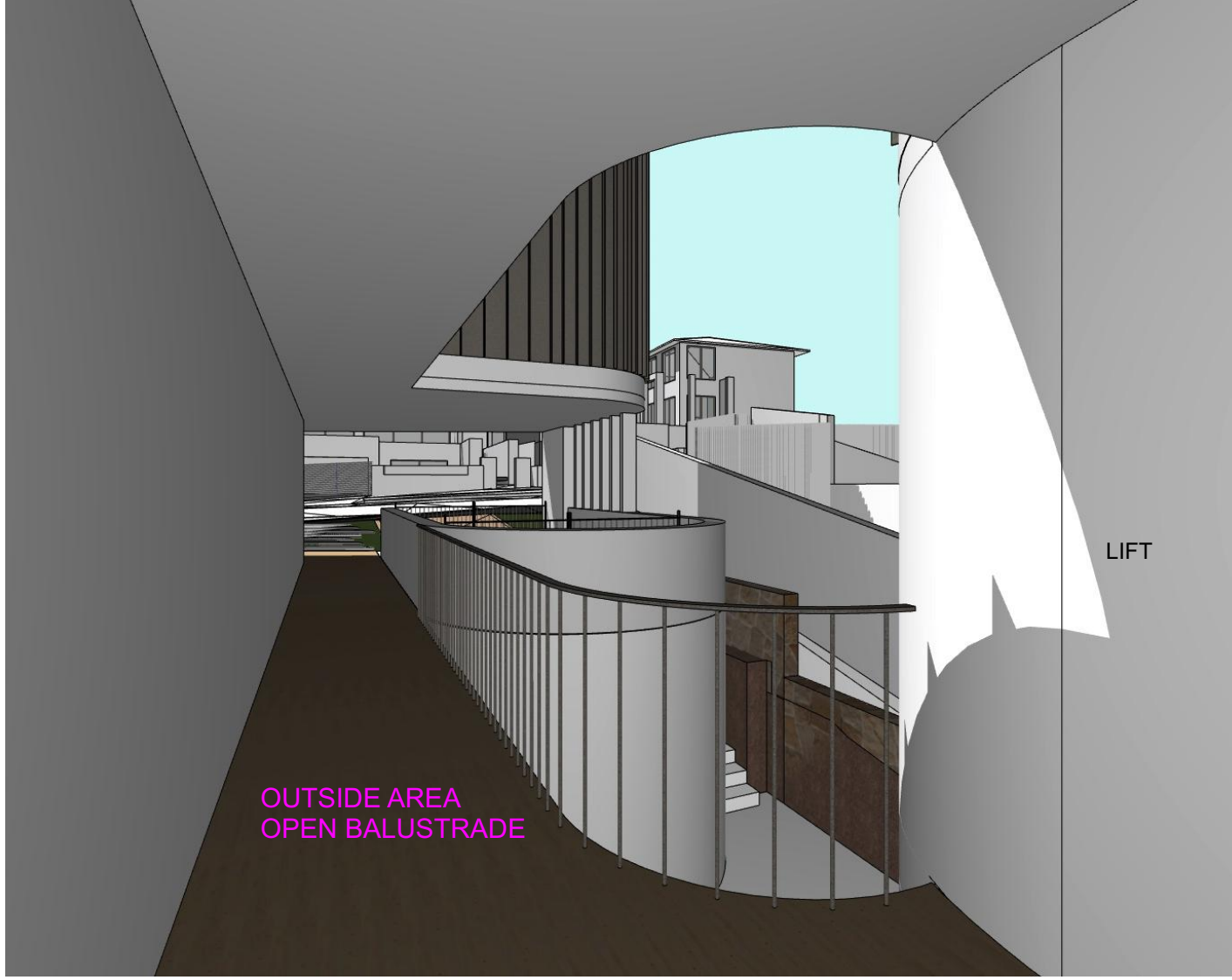
ELEVATION SOUTH



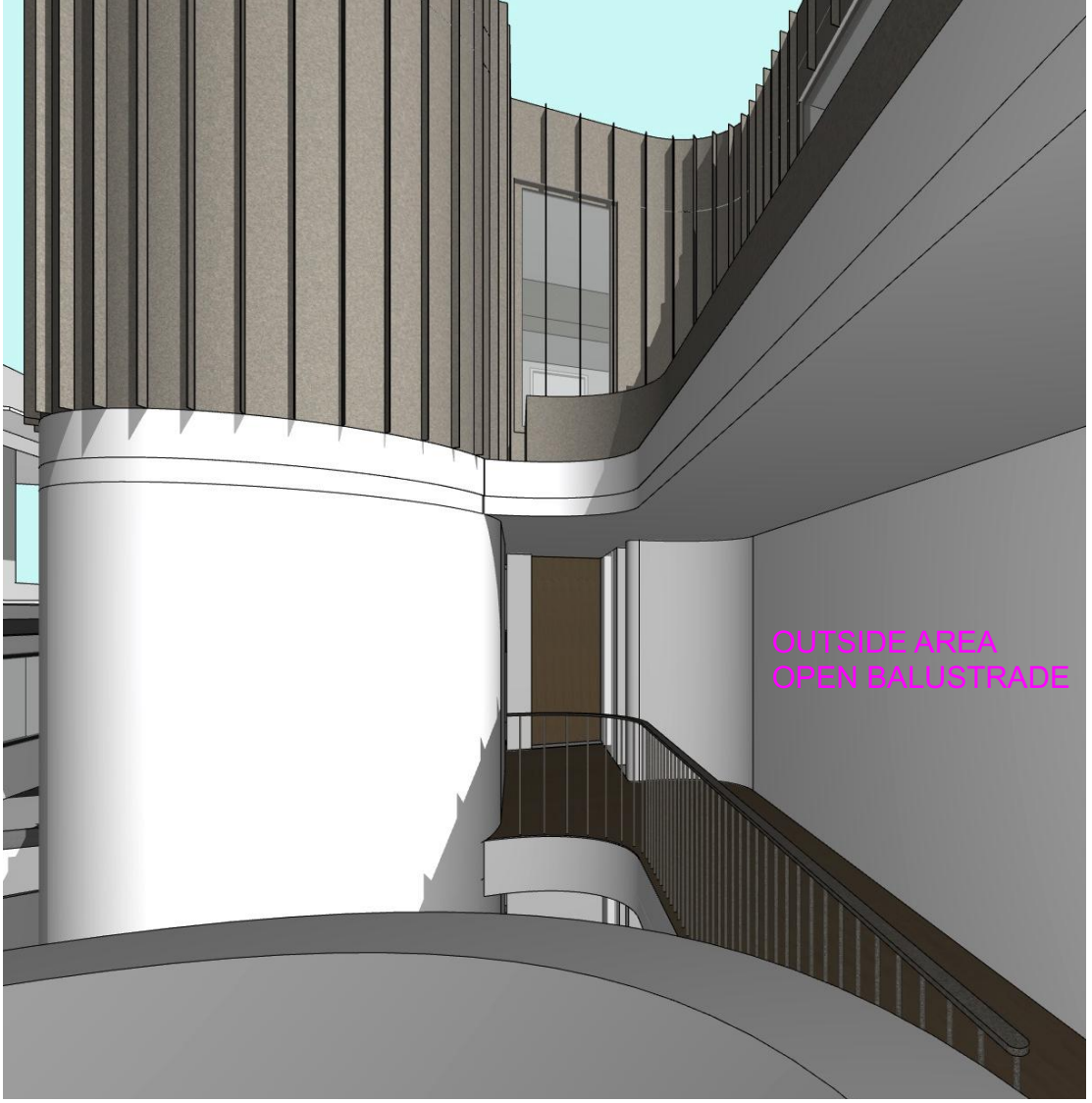
1. VIEW FROM FIRST FLOOR STAIR TO LIFT / OPEN BALUSTRADE



2. VIEW FROM STAIRCASE TO LIFTS / OPEN BALUSTRADE



3. VIEW FROM FRIST FLOOR HALLWAY TO DRIVEWAY



4. VIEW FROM EXTERNAL HALLWAY